

AGENDA ITEM #15

Consideration of Resolution 2021-35 approving the final plat for Larry Jacobson and Paul Watson on Hawthorne Estates Subdivision, Phase 2 for the creation of twenty-five single family lots in the R-1-8 zone.

**GRANTSVILLE CITY
RESOLUTION NO. 2021-35**

**A RESOLUTION APPROVING THE FINAL PLAT FOR LARRY JACOBSON AND
PAUL WATSON ON HAWTHORNE ESTATES SUBDIVISION, PHASE 2 FOR THE
CREATION OF 25 SINGLE FAMILY LOTS IN THE RM-1-8 ZONE**

Be it enacted and ordained by the City Council of Grantsville City, Utah as follows:

WHEREAS, Larry Jacobson and Paul Watson submitted an application for a final subdivision plat for the Hawthorne Estates Subdivision, Phase 2 in Grantsville City, Utah for the creation of 25 single family lots in the RM-1-8 zone;

WHEREAS, the proposed amendments of the subject property are permitted in the RM-1-8 zone as indicated in the Grantsville City Land Use Management and Development Code (GLUMDC);

WHEREAS, the Grantsville City Planning and Zoning Commission reviewed the final plat in a regularly scheduled public meeting for compliance with the requirements of the pertinent Grantsville City code requirements, and found that the proposed final plat has met or can meet the requirements of GLUMDC;

WHEREAS, Larry Jacobson and Paul Watson are required to construct certain public improvements;

WHEREAS, the Grantsville City Council hereby determines that it is in the best interest of the City to approve the final subdivision plat for Larry Jacobson and Paul Watson at the Hawthorne Estates Subdivision, Phase 2 located in Grantsville City, Utah for the creation of 25 single family lots in the RM-1-8 zone.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF
GRANTSVILLE CITY, STATE OF UTAH, AS FOLLOWS:**

Section 1. Final Plat. The City of Grantsville approves the Final Plat Amendment provided in Exhibit A.

Section 2. Severability Clause. If any part or provision of this Resolution is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Resolution and all provisions, clauses and words of this Resolution shall be severable.

ADOPTED AND PASSED BY THE CITY COUNCIL OF GRANTSVILLE CITY, THIS
2nd DAY OF JUNE, 2021.

BY ORDER OF THE
GRANTSVILLE CITY COUNCIL

By Mayor Brent K. Marshall

ATTEST

Christine Webb, City Recorder

MEMORANDUM

DATE: May 26, 2021
TO: Christine Webb, City Recorder
FROM: Kristy Clark, Zoning Administrator
RE: **ZONING ITEMS UP FOR CONSIDERATION AT COUNCIL MEETING TO BE HELD JUNE 2, 2021**



City Council Agenda Item #15: Consideration of Resolution 2021-35 approving the final plat for Larry Jacobson and Paul Watson on Hawthorne Estates Subdivision, Phase 2 for the creation of twenty-five single family lots in the R-1-8 zone.

The Planning Commission motioned to recommend approval of this agenda item on May 13, 2021 with some discussion and the motions are at the end of the discussion:

Paul Watson was present for this agenda item and stated to the Commission:
I'm here representing Larry Jacobson. I'm the project engineer.

Gary Pinkham stated, I think we got everybody taken care of, so I'm good.

Kristy Clark stated, Paul did get the notes, and he did update everything to the 4,500 PSI, just so you know.

Gary made the motion to recommend approval the Final Plat for Larry Jacobson and Paul Watson on the Hawthorn Estates Subdivision Phase 2 located at approximately 850 West Main for the creation of twenty-five (25) lots in the R-1-8 zone. Erik seconded the motion. All voted in favor and the motion carried unanimously.



Project Memorandum

To Kristy Clark, Grantsville City Planning and Zoning Administrator

From Shay Stark, Contract City Planner

Date May 6, 2021

CC

A handwritten signature in blue ink, appearing to read "Shay Stark", is written over the CC field.

Subject Hawthorn Estates Subdivision Phase 2 – Final Plat Application - Planning Commission Memo

A Final Plat application has been submitted to Grantsville City for Hawthorn Estates Subdivision Phase 2 (Project). The project has been reviewed by City Staff with multiple reviews, meetings and revisions conducted and are documented in the supporting documentation that is attached to this memo.

Project Overview

Zoning: R-1-8

Project Total Acreage: 8.55 acres

Total Number of Single-Family Residential Lots: 24 lots for a gross density of 2.8 dwellings per acre.

Technical Review Comments

In the 3rd submittal review memo dated May 6, 2020, (orange comments) and found in the supporting documentation attachment. All of the engineering issues have been addressed and the drawings are complete.

Development Agreement

- No amendments to the Development Agreement are necessary with this Phase.

Recommendation

With a favorable discussion by the Planning Commission the staff recommends the Planning Commission provide a recommendation to the City Council for the approval of the Hawthorn Estates Subdivision Phase 2 Final Plat Application. Please state any specific requirements or guidance that Planning Commission would like addressed in the motion. The motion will be added to the supporting documentation for the City Councils consideration.

-END-

Attachment: Hawthore Estates Subdivision Phase 2 – Final Plat - Supporting Documentation


HAWTHORN ESTATES SUBDIVISION PHASE 2

FINAL PLAT

SUPPORTING DOCUMENTATION



Project Memorandum

To Kristy Clark, Grantsville City Planning and Zoning Administrator
From Shay Stark, Contract City Planner
Date February 9, 2021 *Updated May 5, 2021* 
CC
Subject The Hawthorn Estates Subdivision Phase 2 Final Plan – 3rd Review

Revised drawings based upon the staff review comments have been submitted to the City. The revised drawings dated May 5, 2021 are complete and have addressed the comments submitted to the applicant. The project is ready to move forward for consideration.

A revised drawings set has been submitted based upon the previous comments. Comments on the revised submittal car found in red.

An application has been submitted to Grantsville City for The Hawthorn Estates Subdivision Phase 2 (Project). A DRC was held February 9, 2021. The comments provided in this memo include review comments and comments from the DRC. DRC comments in Blue. The following documents have been taken into consideration with this review:

The Hawthorn Estates Subdivision Phase 2. Final submittal including:

This project is a portion of a previous application titled Grantsville Heights. As such the Geotechnical Study and the Traffic Study from the Grantsville Heights subdivision may apply to this application and have been used as reference material for this review.

- A. The Hawthorn Estates Subdivision – Final, provided by Gateway Consulting, Inc., dated: January 13, 2021, comprising of 31 drawing sheets.

Project Overview

Zoning: R-1-8

Project Total Acreage: 8.55 acres

Total Number of Single-Family Residential Lots: 24 lots for a gross density of 2.8 dwellings per acre.

- In the following review comments action items are bulleted.

Submission and Checklist Compliance

Technical Review Comments

Traffic Study:

The traffic study is a combined study of Grantsville Heights and Cherry Grove Subdivisions. Both developments directly impact Main Street (SR-138). Grantsville Heights also directly impacts Clark Street. The study projects a total traffic generation of 229 am and 307 pm peak hour trips with 2,926 daily trips. The number of trips allotted to Grantsville Heights Subdivision is; 185 AM and 248 PM peak hour trips and a total of 2,360 daily trips. Based upon these projections the Grantsville Heights Subdivision generates 80.66% of total traffic generated in the study.

Impacts to Level of Service (LOS):

Clark Street / SR 138 operates at a LOS A in the AM and PM peak period without the site. With the addition of the site the intersection operates with a LOS B in 2018 and LOS C in 2023. The site traffic increases the total traffic at this intersection by 38%. Main Street / SR 138 operates at a LOS A in the AM and PM peak period without the site. With the addition of the site the intersection operates with LOS B in 2018 and 2023. The site traffic increases the total traffic in this intersection by 44%.

The impacts to level of service for the Clark Street / SR 138 intersection are 100 percent attributed to the Grantsville Height Subdivision. The impact to level of service by the Grantsville Heights Subdivision at the Main Street / SR 138 intersection are 32% of the projected total.

The TIS recommends:

It is recommended that a northwest turn deceleration lane be built (50-foot minimum storage length) at Clark Street with the opening of the Grantsville Heights subdivision.

The current application addresses 19% of the overall lots in the Grantsville Heights Subdivision. Approximately 2/3rds of the lots access the Little Reno Subdivision and would likely send traffic through the Clark Street intersection. While the deceleration lane is not needed with the development of Hawthorn Estates, it will be necessary for the future project tying on to Hawthorn Estates.

The Developers of Hawthorne Estates are required to finish the half width improvements along their subdivision as well as the Little Reno Subdivision. It is the Staff's recommendation that those offsite improvements be counted as their contribution to access improvements needed for development of the Grantsville Heights parcels.

Geotechnical Study:

- The Geotechnical Engineering Study details a broad mix of clay, silt, sand and gravel in the test pits. It notes the presence of collapsible soils ranging in severity from as little as 0.5% to 6%.

- The study recommends a pavement design consisting of 3" asphalt on, 8" road-base on, 18" sub-base in areas containing moisture sensitive soils. The city minimum standard is 3" asphalt on, 6" road-base on, 8" sub-base for stable soils. How will the determination occur as to what areas will require the Geotechnical recommendation? **Note has been shown on the Detail.**
- The study also provides recommendations for other structural components such as footings, foundations, floor slabs, trenches, etc. The City expects that these recommendations will be followed both for construction of the development infrastructure and homes. The City will provide a copy of the Geotechnical Study to the building inspectors for their review.

General:

- Provide a triangle symbol on the lots to show driveway locations for each lot. The city will not allow services to be moved to accommodate driveways. **Driveway locations have been added.**
- Text clean up. There are locations were text over text and text in linework cause the drawings to be hard to read.
- General notes we need to send the City General Note. Tolerances should be +or- the tenth and testing should be 3rd party testing. City will send a corrected and updated General Notes for replacement. **The City never sent updated language. This needs to be corrected.**
- Please see redlines from City Engineer and Public Works. Sent separately. **Again, with these comments.**
- Please see Fire Marshall Memo. Sent separately. **Again, with these comments.**
- Please see comments by Gary Pinkham (Planning Commission). Sent separately. **Again, with these comments.**
- **Cover Sheet says City Engineer and then conflicts with Public Works Below.**

Easements:

- Are there any areas where special easements may be required? Lots 204 and 203 easement for storm drain 30 feet. **(The easement is not shown on the plat. It is shown on other drawings.)**
- Indicate dimension of public utility easement for each lot or add detail with dimensions for corner and interior lots. **(Complete)**

Plat:

- The utility companies do not have to sign plats. **(Complete)**
- Provide dimensions for the public utility easements. **(Complete)**

Streets:

- Main Street improvements need to extend to the far east lot line in little Reno. The City owns that sliver of right-of-way. Discussed moving the location of the sidewalk to accommodate the retaining wall or slope that will be needed on the back side of the lots in little Reno. Also discussed adjusting the south lot lines on lots 202 and 203 to transition to the Little Reno lot line and eliminate the jog at the corner that would create an odd small triangle requiring additional City maintenance. **This has been modified. Discuss. What materials will the retaining wall be constructed from? Show a detail.**
- Make sure to include APWA details that are referenced in each APWA detail.
- Use APWA Detail # 235.2 Corner Curb Cut Assembly for all Ped ramps. **(Complete)**
- Sheet D1A: cul-de-sac detail is unreadable. **D1C Remove AQUA cul-de-sac detail it is very old and incorrect. Cul-de-sac must be 96 feet of drivable area face of curb to face of curb.**
- **D1A: Show the City standard section construction minimum.**
- **Lots 218 and 219 the driveway must be located 60 feet from the right of way boundary of the street intersection.**
- Street signage. Update Sheet SS1. Add stop bars. Place the street sign on a separate pole located on the opposite (east) side of the street. Add a cross traffic does not stop sign under the stop sign MUTCD (W4-4P). Install speed limit sign on Marachino Lane. Coordinate with James Waltz (Public Works Director) on signage.

Water:

- Per state law the water lines supplying the subdivision needs to be modeled to verify that the system has capacity to serve the subdivision. AQUA has provided a capacity memo based upon modeling the system with the proposed lots. The water system looks like there is capacity and fire flows can be met.
- Is Public Works okay with the locations of water service connections? Discussed the option for sewer services located at 5 feet off low side of property line and water service located ten feet off sewer line. Driveways and Dry utilities located on high side of lot.
- Lot 218 and 219 put the water services out on Main Street. **(Water was moved. Driveways need to be adjusted in the correct locations.)**
- Please see fire comments by Fire Marshal Clayton.
- Vertical clearance at utility crossings involving water require at least 18" separation. **(Looks to have been addressed.) (Fire hydrants check PT4 station 4+55 is an example of the problem.)**

- No Backflow Assembly Detail.
- Please remove APWA Details 551 and 541
- Does the City want some of the lines dropped to 6' to minimize the need for air vacs?
The water lines are at 6 feet deep.
- The City water service lateral and meter detail needs to show sand at the bottom of the meter setter in the meter can.
- Sheet PP-5 at the 90-degree bend in the street at Approximately 3+00 and 3+50 the 45 bends are positioned very close to the storm drain trench. Shorten up the run between bends to move them out of the storm drain line areas. Maybe 20 feet or so feet between bends will get them out of the trench areas.

Sanitary Sewer:

- The sanitary sewer lines supplying the subdivision need to be modeled to verify that the system has capacity to serve the subdivision. AQUA has provided a capacity memo based upon modeling the system with the proposed lots. The sewer system and treatment facility look like there is adequate capacity to serve the subdivision.
- Is Public Works okay with the locations of sewer service connections? Discussed the option for sewer services located at 5 feet off low side of property line and water service located ten feet off sewer line. Driveways and Dry utilities located on high side of lot. (Corrected)
- Make sure to include APWA details that are referenced in each APWA detail.
- Add APWA sewer trench detail.

Storm Water:

- Discuss.
- Rear yard retention. Show detail of how this will work. This will require a note on the plat. Discuss with the city engineer. Also discussed mass grading as an option to drain lots to street. The Design Engineer will come up with a design and coordinate with the City Engineer. (Grading looks good.)

Open Space:

- The City requires 10% open space to be provided with each subdivision. Refer to Grantsville Land Use and Development Management Code section 21.1.15 through 21.1.22. This issue needs to be clarified in the Development Agreement. I believe this was addressed in the Development Agreement.

Postal: Will be installed per the direction of the Postmaster.

- Where will the CBU('s) be located? Is it a single location or will there be multiple locations? Will a pullout be required?

Development Agreement:

- At this point the Development Agreement will acknowledge; open space, offsite improvements, stormwater, and traffic improvements. These issues may have already been addressed.

-END-

DRC NOTES FOR HAWTHORN ESTATES PH 2– GARY PINKHAM – PLANNING & ZONING

GENERAL NOTES:

11" by 17" drawings are not readable.

SHEET NOTES:

Sheet A1 General Note 1 references Eagle Mountain, revise to Grantsville City. Underground Utility Note 8 references South Valley Sewer Dist., revise to Grantsville City. Note 10 needs to have separation requirements for the water, 18" from sewer and 24" from all other utilities.

Plat Sheet 1 of 2 needs a note to state no driveways onto Main Street from Lots 202 – 205, 218, and 219.

Plat Sheet 2 of 2 shows roughly 90' width for the corner lots 218 and 219. This will result in fairly narrow driveways to comply with the City's code.

Sheet 2, General Site Plan, make sure sewer lateral locations will clear driveways.

Sheets G1 and G2 have several notes that overlay other lines or data and cannot be read. Clean up these sheets.

Sheet 5 what are the units listed for the areas?

Sheet U1 need to add gate valves at the fire hydrants and to the tie in on Main Street.

Sheet U2 coordinate sewer lateral location with driveways.

Sheet PP1 through PP5 revise minimum clearance/separation notes to read 18" between sanitary sewer and culinary water and 24" between culinary water and all other utilities.

Sheet PP1 add three valve cluster to tie in of culinary water in Man Street.

Detail Sheets D1A through D4B there are many of the APWA standards that refer to Notes not provided and many of them are listed x of y sheets. Furnish the missing sheets. Make sure all details call for 6" thick concrete sidewalk everywhere.

Sheet D1A the cul-de-sac detail has dimensions too small to read. Revise the sheet so it can be read.

Sheet D3A revise Grantsville Fire Hydrant detail to require 8" pipe to the hydrant to comply with Note 7 of the Grantsville Utility Trench for Water Main detail sheet. This same Note 7 calls out a minimum size of 4' for water meter connections, should this be revised?

Sheet D3B calls out for the water service lines to be Type k copper. Are we allowing poly, and if so, what class?

Sheet D4A detail 140, note 6 calls out for the bottom step in a box to be 6" above the top of the pipe. For large diameter pipe or drop structures this would make for a very long step to the floor of the box causing a potential safety issue for the maintenance worker.

GRANTSVILLE CITY
ZONING DEPARTMENT

429 EAST MAIN STREET
GRANTSVILLE, UTAH 84029
PHONE (435) 884-3411
FAX (435) 884-0426

Final Plat Fees:
\$200.00 for Plat
\$95.00 per Lot

FINAL PLAT APPLICATION

Date of Application 1-19-2021

Property Location 800 w main street

Property Owner(s) / Agent Larry Jacobson

Mailing Address _____
Larry@sandrockdevelopment.com

Owner Phone _____ Agent Phone _____

Acting Agent Name & Address _____

Paul Watson

Email Address Paul@gatewayconsultingllc.com

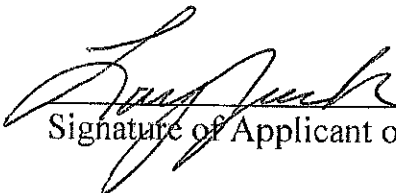
Subdivision Name Hawthorn Estates Phase 2

Current Zoning of Property R-1-8

Number of Acres in Subdivision 8.55

Total Number of Lots 25

Lot sizes 0.65 8,000



Signature of Applicant or Agent

SITE DEVELOPMENT CONSTRUCTION PLANS
HAWTHORN ESTATES
PHASE 2

PRECON MEETING: XXXXXX, 2021

Signature _____

CITY PLANNING COMMISSION CHAIR
 APPROVED AS TO FORM THIS _____ DAY OF _____, 20____

 CITY PLANNING COMMISSION CHAIR

PUBLIC WORKS
 APPROVED THIS _____ DAY OF _____, 20____

 GRANTSVILLE CITY PUBLIC WORKS

CITY ENGINEER
 APPROVED THIS _____ DAY OF _____, 20____

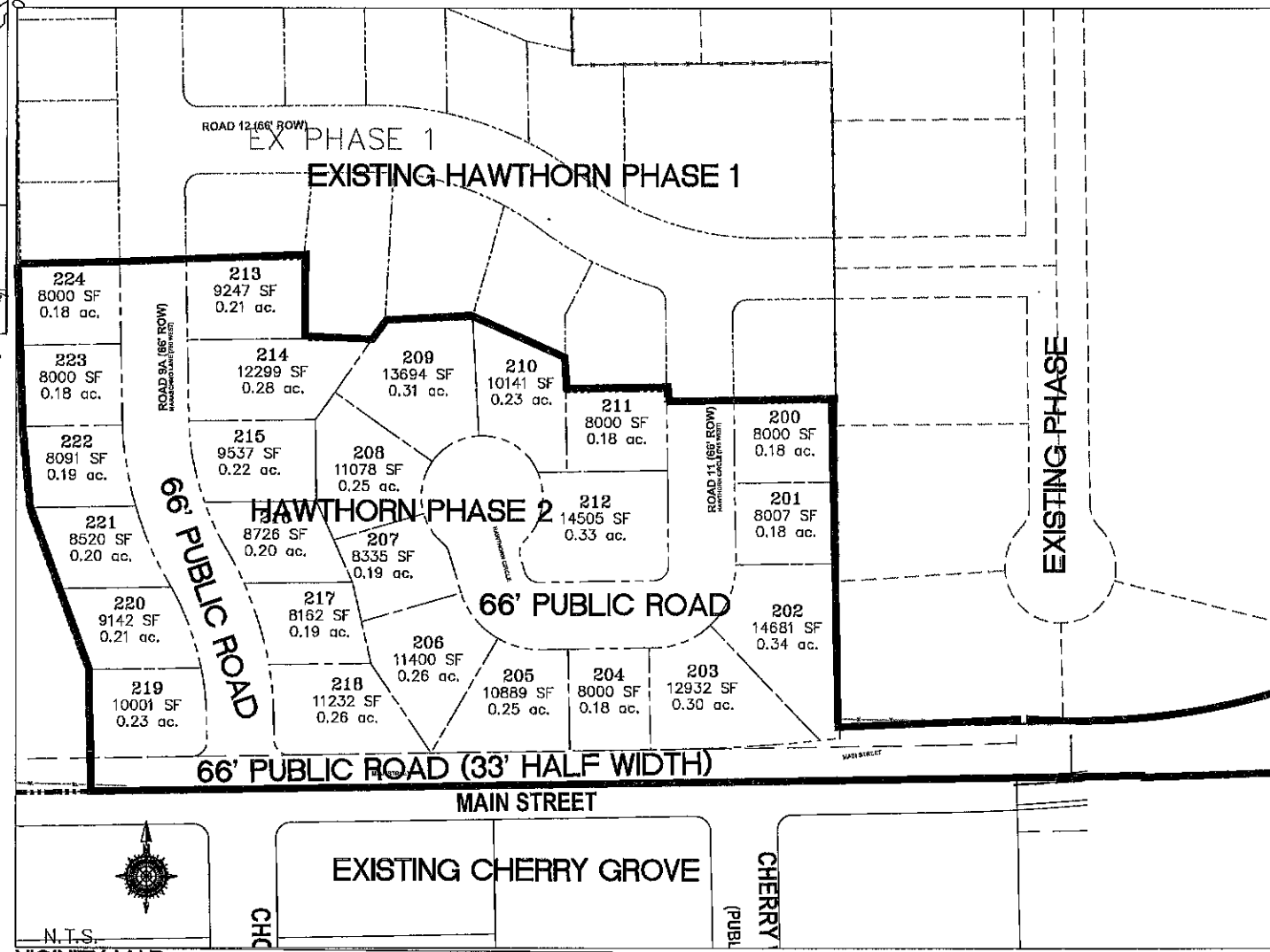
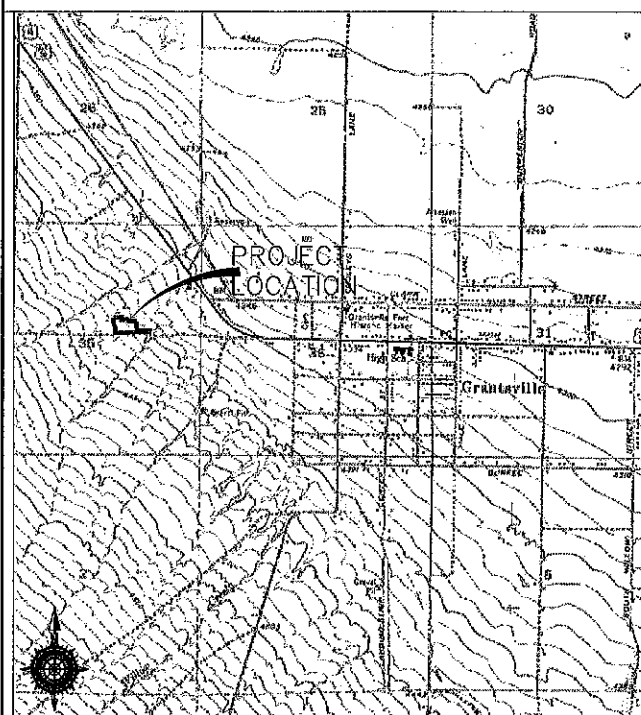
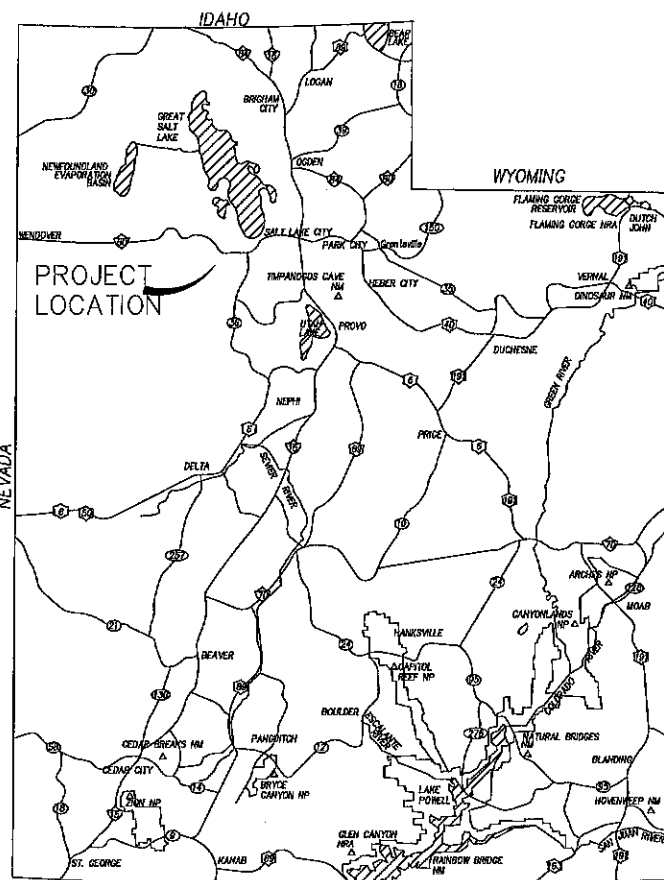
 GRANTSVILLE CITY ENGINEER

GRANTSVILLE CITY, UTAH

NORTH HALF OF SECTION 35, TOWNSHIP 2 SOUTH
 RANGE 6 WEST, SALT LAKE BASE AND MERIDIAN

SINGLE FAMILY RESIDENTIAL
FINAL

CITY COUNCIL APPROVAL DATE: XXXXX2020



REVISIONS		
DESCRIPTION	DATE	SHEETS AFFECTED

INDEX OF SHEETS	
1	TITLE SHEET
1A	PROJECT NOTES
	PLATS
	RECORD OF SURVEY
2	OVERALL SITE PLAN
3	EXISTING CONDITIONS/DEMOLITION PLAN
G1-G2	GRADING PLANS
DR1	OVERALL DRAINAGE MASTER PLAN
DR2	PHASE 2 DRAINAGE PLAN
U1	CULINARY WATER UTILITY PLAN
U2	SANITARY SEWER UTILITY PLAN
U3	STORM WATER UTILITY PLAN
PP1-PP5	PLAN AND PROFILES
SS1	SIGNAGE PLAN
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
ER1-ER2	EROSION CONTROL DETAILS
D1A-D1F	STREET DETAILS
D2A-D2C	SANITARY SEWER DETAILS
D3A-D3D	CULINARY WATER DETAILS
D4A-D4F	STORM WATER DETAILS

PHASE 2
 LOTS -25
 OPEN SPACE= 0 AC
 TOTAL AREA=8.54 AC
 ROW AREA=2.80 AC

MAY 6, 2021

PHASE 2
 TOTAL IMPERVIOUS AREA = 212,000 SF=4.87 AC
 TOTAL LOT BUILDING AREA= 250,619 SF=5.75 AC
 TOTAL LANDSCAPE AREA=163,396 SF=3.75 AC



GATEWAY CONSULTING, inc.
 P.O. BOX 951003 SOUTH JORDAN, UT 84093
 PH: (801) 694-5848
 pmh@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING
 CONSTRUCTION MANAGEMENT

E-6-2021 DATE:	HAWTHORN ESTATES PROJECT:	1-TITLE FILE:	SHEET NO. 1
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HAWTHORN ESTATES PH2
24-9-2021

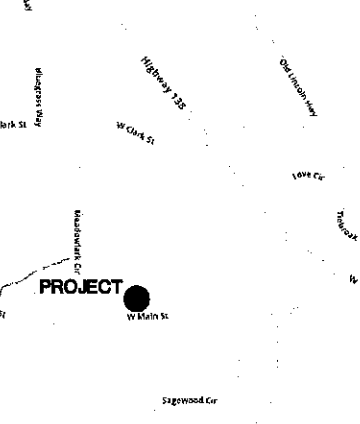
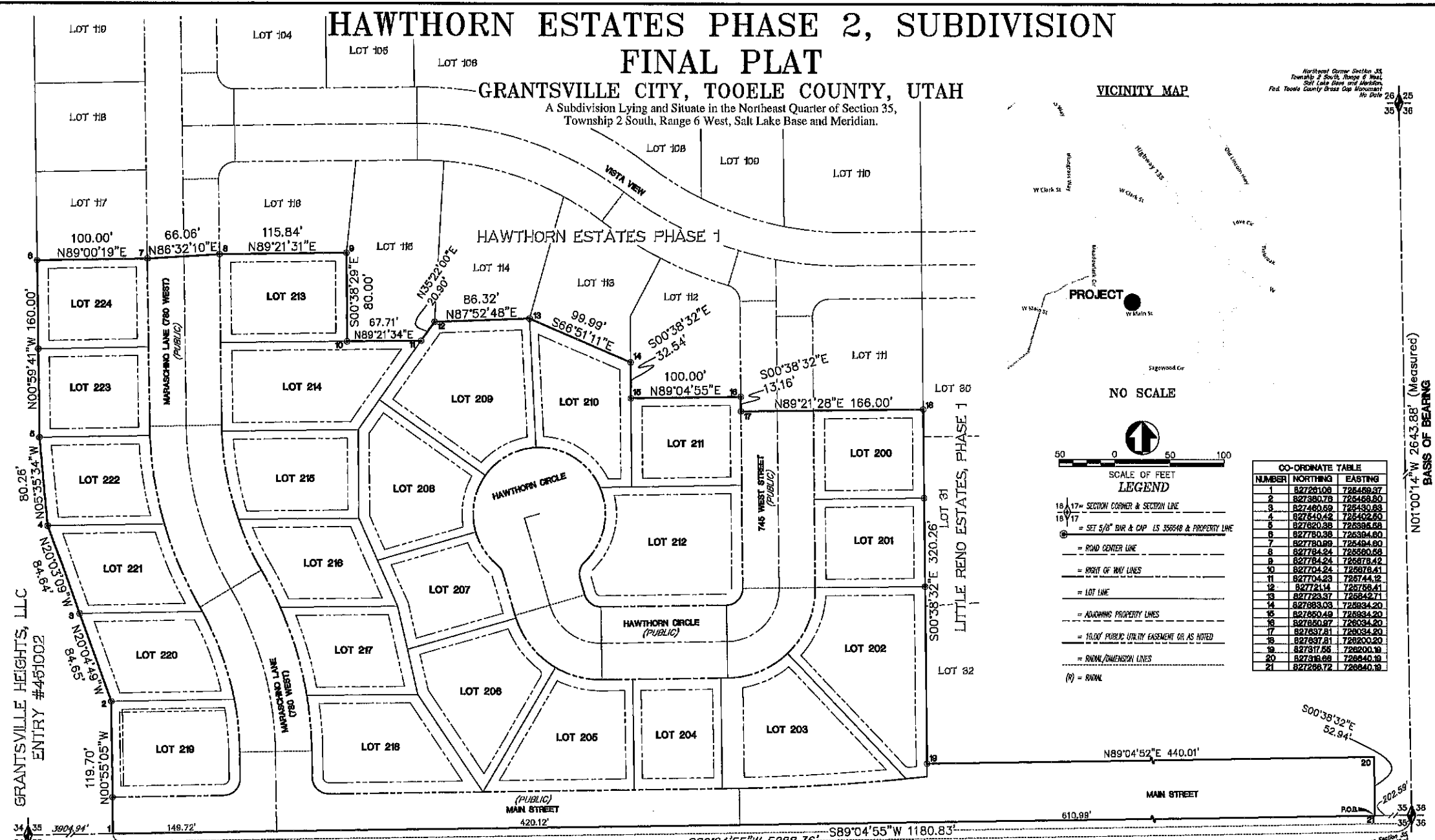
HAWTHORN ESTATES PHASE 2, SUBDIVISION FINAL PLAT

GRANTSVILLE CITY, TOOELE COUNTY, UTAH

A Subdivision Lying and Situate in the Northeast Quarter of Section 35,
Township 2 South, Range 6 West, Salt Lake Base and Meridian.

VICINITY MAP

Northwest Corner Section 35
Township 2 South, Range 6 West,
Salt Lake Base and Meridian.
Per Tooele County Brass Cap Monument
No. Date 25
35 36



NO SCALE



- LEGEND**
- 18 17- SECTION CORNER & SECTION LINE
 - 18 17- SET 5/8" BWR & CAP LS 356548 & PROPERTY LINE
 - ROAD CENTER LINE
 - RIGHT OF WAY LINES
 - LOT LINE
 - ADJOINING PROPERTY LINES
 - 15.00' PUBLIC UTILITY EASEMENT OR AS NOTED
 - ROW/DIMENSION LINES
 - (N) - ROW

NUMBER	NORTHING	EASTING
1	82726108	726468.87
2	82738078	726468.80
3	82748089	726430.88
4	82754048	726402.60
5	82762038	726398.09
6	82778038	726304.60
7	82778089	726484.60
8	82778424	726560.68
9	82778424	726578.42
10	82770424	726578.41
11	82770423	726744.32
12	82772114	726758.41
13	82772337	726842.71
14	82758303	726834.20
15	82758049	726834.20
16	82758047	726834.20
17	82763781	726834.20
18	82763781	726800.20
19	82763781	726800.19
20	82763668	726840.19
21	82763672	726840.19

SURVEYOR'S CERTIFICATE:
I, David E. Hawkes, certify that I am a Professional Land Surveyor holding license number 356548 in accordance with Title 59, Chapter 22, Professional Engineers and Land Surveyors Licensing Act, and that a survey of the described tract of land has been completed by me filed as survey #2019-0079 in accordance with Section 17-23-17 and that I have verified all measurements depicted hereon and that monuments shall be placed as shown.

LEGAL DESCRIPTION:
A parcel of land lying and situate in the Northeast Quarter of Section 35, Township 2 South, Range 6 West, Salt Lake Base and Meridian, Grantville City, Tooele County, Utah, comprising a 5.02 acre portion of that particular parcel of land described in that certain Warranty Deed recorded as Entry 451002 of the Tooele County Records. Etc. of Bearing for subject parcel being North 01°00'14" West 2643.88 feet (measured) between the Tooele County brass cap monuments monumentizing the east line of the Northeast Quarter of said Section 35. Subject parcel being more particularly described as follows:

Commencing at the Tooele County brass cap monument, stamped 1982, which is monumentizing the East Quarter Corner of said Section 35, thence South 89°04'55" West 202.59 feet coincident with the south line of the Northeast Quarter of said Section 35 to the TRUE POINT OF BEGINNING; Thence continuing coincident with said Quarter Section Line South 89°04'55" West 118.83 feet; Thence departing said section line North 00°35'05" West 119.70 feet to a number five rebar and cap stamped "PLS 356548"; Thence North 20°04'49" West 84.65 feet to a number five rebar and cap stamped "PLS 356548"; Thence North 20°03'09" West 84.64 feet to a number five rebar and cap stamped "PLS 356548"; Thence North 05°35'34" West 80.26 feet to a number five rebar and cap stamped "PLS 356548"; Thence North 00°59'41" West 160.00 feet to a point on the south boundary of Hawthorn Estates Phase 1 and a number five rebar and cap stamped "PLS 356548"; Thence the following twelve (12) courses coincident with the south boundary of said Hawthorn Estates Phase 1, 1) North 89°00'19" East 100.00 feet to a number five rebar and cap stamped "PLS 356548"; 2) North 88°32'10" East 66.06 feet to a number five rebar and cap stamped "PLS 356548"; 3) North 89°21'31" East 115.84 feet to a number five rebar and cap stamped "PLS 356548"; 4) South 00°38'29" East 80.00 feet to a number five rebar and cap stamped "PLS 356548"; 5) North 89°21'34" East 67.71 feet to a number five rebar and cap stamped "PLS 356548"; 6) North 35°22'00" East 20.90 feet to a number five rebar and cap stamped "PLS 356548"; 7) North 87°52'48" East 86.32 feet; 8) South 66°51'11" East 99.99 feet; 9) South 00°38'32" East 32.54 feet; 10) North 89°04'55" East 100.00 feet to a number five rebar and cap stamped "PLS 356548"; 11) South 00°38'32" East 13.16 feet to a number five rebar and cap stamped "PLS 356548"; 12) North 89°21'28" East 166.00 feet to the southeast corner of Lot 111 of said Hawthorn Estates and a point on the west boundary of Little Reno Estates Subdivision Phase 1; Thence the following two (2) courses coincident with said west boundary 1) South 00°38'32" East 320.26 feet to the southwest corner of Lot 32 of said Phase 1; 2) North 89°04'52" East 440.01 feet; Thence departing said Phase 1 boundary South 00°38'32" East 52.94 feet to the point of beginning.

Contains 372,360 sq. ft., 8.55 acres, 25 Lots



OWNERS DEDICATION
Known all men by these presents that we, the undersigned owners of the above described tract of land having caused the same to be subdivided into lots, as shown on this plat and name said tract HAWTHORN ESTATES PHASE 2, SUBDIVISION and hereby dedicate all those portions of said tract of land designated hereon as streets, the same to be used as public thoroughfares forever; and further dedicate those certain strips or easements for public utility and drainage purposes as shown hereon, the same to be used for the installation, maintenance and operation of public utility service lines and drainage as may be authorized by Grantville City in witness we have hereunto set our signature.

Signed this _____ day of _____, 2021.

Hawthorne Estate Investment LLC, a Nevada limited liability company
By: Larry Jacobsen, its Manager

Corporate ACKNOWLEDGMENT

STATE OF UTAH } S.S.
COUNTY OF TOOELE }

On the _____ day of _____, 2021, personally appeared before me, the undersigned Notary, in and for said County of _____, in said State of Utah, the signer of the above Owner's Dedication, One in number, who duly acknowledged to me that he, Larry Jacobsen, is the Manager of Hawthorne Estate Investment LLC, a Nevada limited liability company and that he signed it freely and voluntarily for the use and purpose therein mentioned.

Notary Public _____ My Commission Expires _____

- PLAT NOTES:**
- No rear yard drainage is allowed to discharge to adjacent private property. All rear yard drainage is required to drain to public road, or remain on lot in private retention basins.
 - Front and rear Public Utility Easements are 10.00' unless otherwise noted. Side yard Public Utilities are 7.50' unless otherwise noted.
 - This plat is in an area of Undetermined Flood Hazard Zone D.
 - All roads depicted on this plat are Public Roads and are dedicated to the City of Grantville.

Boundary Consultants
Professional Land Surveyors
5554 West 2425 North
Hooper, Utah 84315
(801) 792-1589
dave@boundaryconsultants.biz

TOOELE COUNTY HEALTH DEPARTMENT APPROVED THIS _____ DAY OF _____, 2021 BY _____ A.D., 2021 BY THE TOOELE COUNTY HEALTH DEPARTMENT.	COMMUNITY DEVELOPMENT APPROVED THIS _____ DAY OF _____, 2021 BY THE GRANTSVILLE COMMUNITY DEVELOPMENT.	GRANTSVILLE CITY COUNCIL APPROVED THIS _____ DAY OF _____, 2021 BY THE GRANTSVILLE CITY MAYOR.	GRANTSVILLE CITY PUBLIC WORKS APPROVED THIS _____ DAY OF _____, 2021 BY GRANTSVILLE CITY PUBLIC WORKS DEPARTMENT.
TOOELE COUNTY HEALTH DEPARTMENT	GRANTSVILLE COMMUNITY DEVELOPMENT	MAYOR	CITY PUBLIC WORKS DIRECTOR

HAWTHORN ESTATES PHASE 2, SUBDIVISION, FINAL PLAT
GRANTSVILLE CITY, TOOELE COUNTY, UTAH
A Subdivision Lying and Situate in the Northeast Quarter of Section 35, Township 2 South, Range 6 West, Salt Lake Base and Meridian.

COUNTY SURVEY DEPARTMENT APPROVED THIS _____ DAY OF _____, 2021. RECORD OF SURVEY FILE: #2019-0079	GRANTSVILLE CITY ENGINEER I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.	CITY FIRE DEPARTMENT APPROVED THIS _____ DAY OF _____, 2021 BY THE GRANTSVILLE CITY FIRE DEPARTMENT.	CITY ATTORNEY APPROVAL APPROVED THIS _____ DAY OF _____, 2021 BY THE GRANTSVILLE CITY ATTORNEY.	CITY MAYOR APPROVAL APPROVED THIS _____ DAY OF _____, 2021 BY THE GRANTSVILLE CITY MAYOR.	PLANNING COMMISSION APPROVAL APPROVED THIS _____ DAY OF _____, 2021 BY THE GRANTSVILLE CITY PLANNING COMMISSION.	TOOELE COUNTY TREASURER I HEREBY CERTIFY THAT PROPERTY TAXES DUE AND OWING HAVE BEEN PAID IN FULL THIS DAY OF _____, 2021.
TOOELE COUNTY SURVEY DEPARTMENT	GRANTSVILLE CITY ENGINEER	GRANTSVILLE CITY FIRE CHIEF	GRANTSVILLE CITY ATTORNEY	MAYOR	CHAIR, GRANTSVILLE CITY PLANNING COMMISSION	TOOELE COUNTY TREASURER

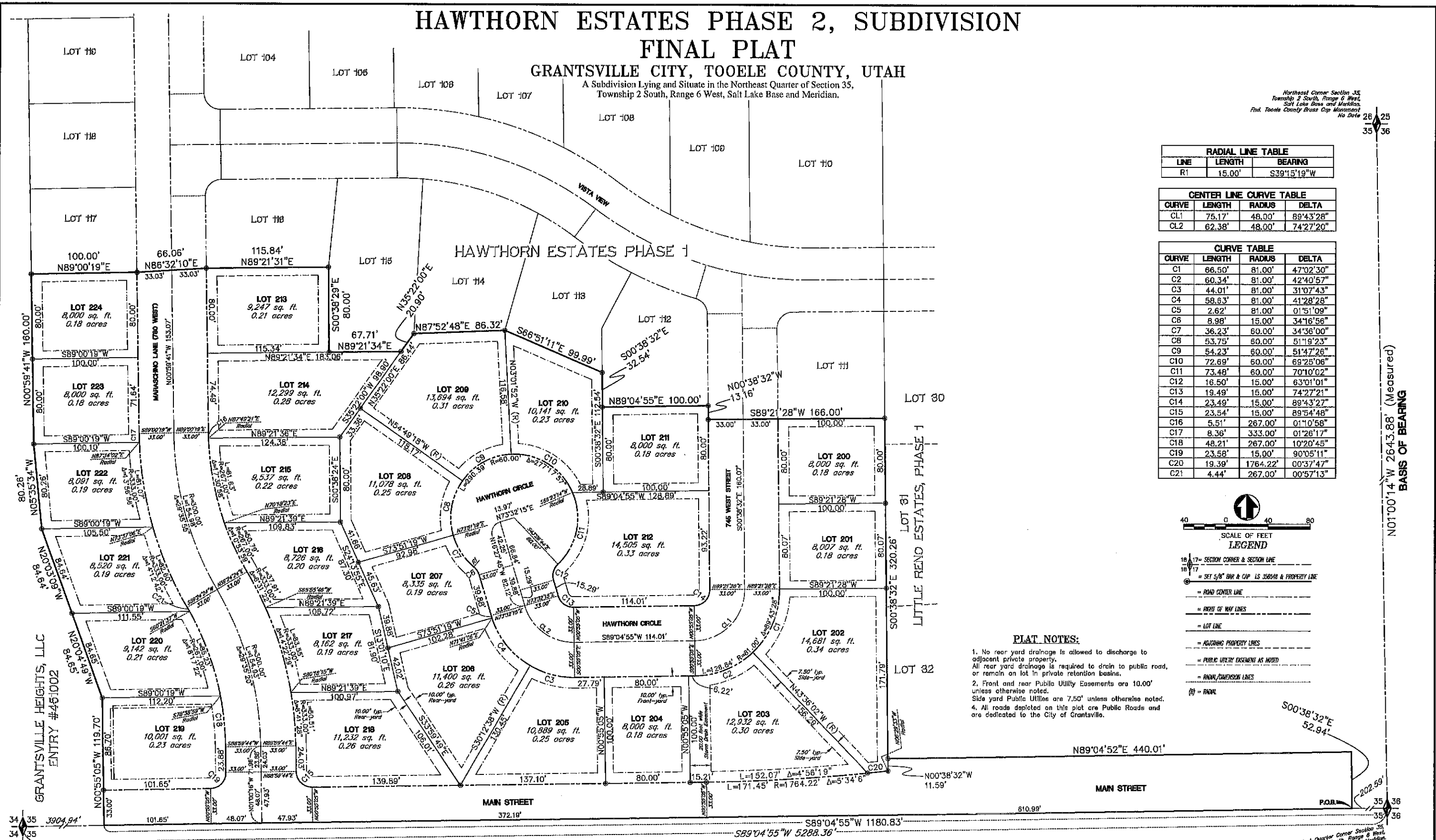
RECORDED # _____
STATE OF UTAH, COUNTY OF TOOELE, RECORDED AND FILED AT THE REQUEST OF _____
DATE _____ TIME _____ BOOK _____
PAGE _____ FEE \$ _____
TOOELE COUNTY RECORDER

HAWTHORN ESTATES PHASE 2, SUBDIVISION FINAL PLAT

GRANTSVILLE CITY, TOOELE COUNTY, UTAH

A Subdivision Lying and Situate in the Northeast Quarter of Section 35,
Township 2 South, Range 6 West, Salt Lake Base and Meridian.

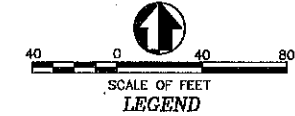
North East Corner Section 35,
Township 2 South, Range 6 West,
Salt Lake Base and Meridian,
Final Tooele County Brass Cap Monument
No Date 26 25
35 36



RADIAL LINE TABLE		
LINE	LENGTH	BEARING
R1	15.00'	S39°15'19"W

CENTER LINE CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
CL1	75.17'	48.00'	89°43'28"
CL2	62.38'	48.00'	74°27'20"

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	66.50'	81.00'	47°02'30"
C2	60.34'	81.00'	42°40'57"
C3	44.01'	81.00'	31°07'43"
C4	58.63'	81.00'	41°28'28"
C5	2.62'	81.00'	01°51'09"
C6	8.98'	15.00'	34°16'56"
C7	36.23'	60.00'	34°36'00"
C8	53.75'	60.00'	51°19'23"
C9	54.23'	60.00'	51°47'26"
C10	72.69'	60.00'	69°25'06"
C11	73.48'	60.00'	70°10'02"
C12	16.50'	15.00'	63°01'01"
C13	19.49'	15.00'	74°27'21"
C14	23.49'	15.00'	89°43'27"
C15	23.54'	15.00'	89°54'48"
C16	5.51'	267.00'	01°10'58"
C17	8.36'	333.00'	01°26'17"
C18	48.21'	267.00'	10°20'45"
C19	23.58'	15.00'	90°05'11"
C20	19.39'	1764.22'	00°37'47"
C21	4.44'	267.00'	00°57'13"



- LEGEND**
- 16 17 SECTION CORNER & SECTION LINE
 - 16 17 = SET 5/8" BAR & CAP LS 350548 & PROPERTY LINE
 - = ROAD CENTER LINE
 - = RIGHT OF WAY LINES
 - = LOT LINE
 - = ADJOINING PROPERTY LINES
 - = PUBLIC UTILITY EASEMENT AS NOTED
 - = RADIAL/DIMENSION LINES
 - (R) = RADIUS

PLAT NOTES:

1. No rear yard drainage is allowed to discharge to adjacent private property. All rear yard drainage is required to drain to public road, or remain on lot in private retention basins.
2. Front and rear Public Utility Easements are 10.00' unless otherwise noted. Side yard Public Utilities are 7.50' unless otherwise noted.
4. All roads depicted on this plat are Public Roads and are dedicated to the City of Grantsville.

N01°00'14"W 2643.88' (Measured)
BASIS OF BEARING

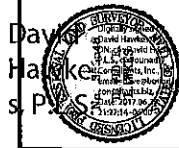
West Quarter Corner Section 35,
Township 2 South, Range 6 West,
Salt Lake Base and Meridian,
Final Tooele County Brass Cap Monument
Dated 1982

East Quarter Corner Section 35,
Township 2 South, Range 6 West,
Salt Lake Base and Meridian,
Final Tooele County Brass Cap Monument
Dated 1982



SHEET 2 OF 2

RECORDED # _____
STATE OF UTAH, COUNTY OF TOOELE, RECORDED AND FILED AT THE
REQUEST OF _____
DATE _____ TIME _____ BOOK _____
PAGE _____ FEE \$ _____
TOOELE COUNTY RECORDER



NARRATIVE:
Boundary Consultants was retained by Titan Development to survey the subject parcel, prior to purchasing the property. This survey was carried out using a Trimble 560 Total Station and a Trimble 5800 GPS System, with ground distances being determined by GEOD Model CONUS 12B @ height 4370.77 feet and no calibration. Basis of Bearing for this survey is Geodetic North as determined by GPS. Monumentation was found and measured as depicted hereon. The Little Reno Estates Phase 1, Subdivision was placed using the record file to the Northwest and North Quarter Corners of Section 35. Evidence of the location of the plot was found as depicted hereon.

RECORD DESCRIPTIONS:
WARRANTY DEED, ENTRY #100143, BOOK 468, PAGE 535:
The South Half of the Northwest Quarter of Section 35, Township 2 South, Range 6 West, Salt Lake Base and Meridian.

(ALSO) Beginning at the North Quarter Corner of section 35; thence EAST 1440 ft. to west line of State Highway; thence South 39°38' East 1520 ft. along Right of Way of Highway to North line of property described in Book 135 Page 418 Recorded in the office of the Tooele County Recorder; thence three courses around said property South 51°19' West 150 ft.; thence SOUTH 520 ft.; thence EAST 425 ft. to the Section Line; thence SOUTH 125.643 ft. to North Line of the Smith property; thence North 89°44'30" West 202 ft.; thence SOUTH 756 ft.; thence South 88°15' East 202 ft. to Section Line; thence SOUTH 16.5 ft. to East Quarter Corner of Section 35; thence WEST 2640 ft. to Center of Section 35; thence NORTH 2640 ft. to point of beginning.

EXCEPTING THEREFROM: Beginning 660 ft. SOUTH & 330 ft. EAST of North Quarter Corner of Section 35 Township 2 South Range 6 West, Salt Lake Base and Meridian; thence EAST 990 ft.; thence SOUTH 825 ft.; thence WEST 680 ft.; thence SOUTH 165 ft.; thence WEST 330 ft.; thence NORTH 990 ft.; to Point of Beginning.

EXCEPTING THEREFROM: Little Reno Estates, Phase 1, Recorded on April 20, 1999, in Book 584, Page 493 of the records of Tooele County, Utah.

AS-SURVEYED DESCRIPTIONS:
SUBJECT PARCEL "A":
The South Half of the Northwest Quarter of Section 35, Township 2 South, Range 6 West, Salt Lake Base and Meridian.

More particularly described as follows:
Beginning at the West Quarter Corner of said Section 35, which is a G.I.O. brass cap monument, thence North 00°57'48" West 1321.38 feet coincident with the west line of the Northwest Quarter of said Section to a number 5 rebar and cap stamped "PLS 356548"; thence North 89°04'19" East 2643.83 feet coincident with the north line of the South Half of said Northwest Quarter to the northeast corner thereof and a number 5 rebar and cap stamped "PLS 356548"; thence South 00°59'08" East 1321.83 feet coincident with the Center Quarter Section Line to a number 5 rebar and cap stamped "PLS 356548" monumenting the Center Quarter Corner of said Section 35; thence South 89°04'55" West 2644.34 feet coincident with the Center Quarter Section Line to the point of beginning.

SUBJECT PARCEL "B":
A parcel of land lying and situate in the Northeast Quarter of Section 35, Township 2 South, Range 6 West, Salt Lake Base and Meridian, comprising the remaining 83.75 acres of land described as the "(ALSO)" parcel in that certain Warranty Deed recorded as Entry 100143, in Book 468, at Page 535 of the Tooele County Records.
Beginning at the North Quarter Corner of said Section 35, thence North 89°04'39" East 1436.23 feet to the west Right of Way Line of SR-138; thence South 37°39'33" East 434.70 feet coincident with said Right of Way to the Northeast Corner of Little Reno Estates Subdivision, Phase 1, recorded as Entry 128819, in Book 564, at Page 493 of the Tooele County Records; thence the following twelve (12) courses coincident with the perimeter of said subdivision 1) South 52°20'30" West 270.50 feet; 2) South 37°39'30" East 80.00 feet; 3) South 52°20'30" West 165.39 feet; 4) South 00°38'32" East 63.77 feet; 5) North 89°21'28" East 123.91 feet; 6) South 19°14'49" East 175.82 feet; 7) South 00°38'32" East 64.36 feet; 8) North 89°21'28" East 165.23 feet; 9) South 00°38'32" East 442.88 feet; 10) North 89°21'28" East 256.00 feet; 11) South 00°38'32" East 653.24 feet; 12) North 89°04'52" East 440.01 feet to the Southeast Corner of said Subdivision; thence departing said Subdivision South 00°38'32" East 52.84 feet to a number 5 rebar and cap stamped "PLS 356548" set on the Center Quarter Section Line; thence South 89°04'55" West 2441.43 feet to the Center Quarter Corner of said Section 35, which is a number 5 rebar and cap stamped "PLS 356548"; thence North 00°59'08" West 2643.67 feet coincident with the Center Quarter Section Line to the point of beginning.

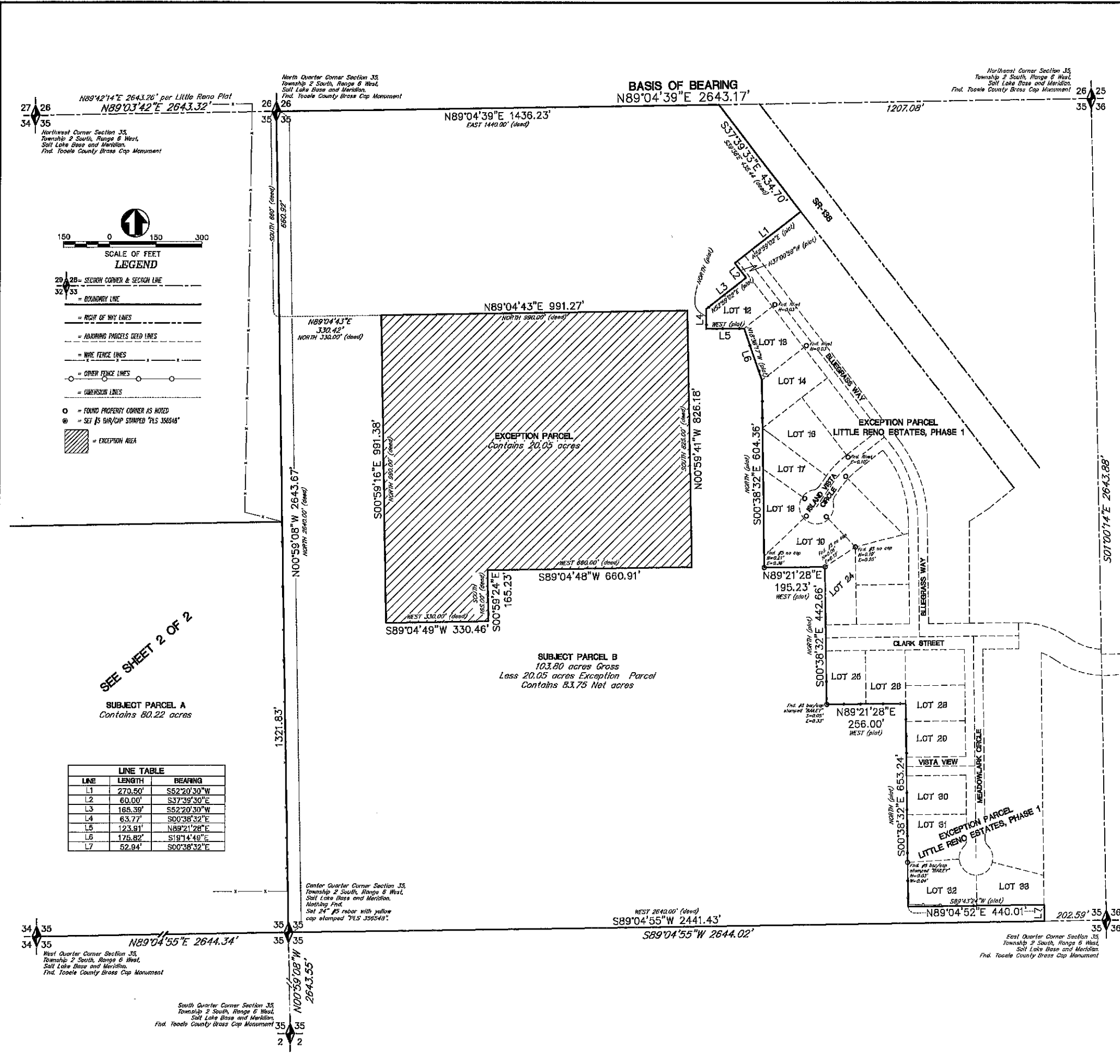
LESS AND EXCEPTING THEREFROM:
Beginning at the North Quarter Corner of Section 35, Township 2 South, Range 6 West, Salt Lake Base and Meridian, thence South 00°59'08" East 650.92 feet; thence North 89°04'43" East 330.42 feet to a number 5 rebar and cap stamped "PLS 356548"; thence North 89°04'43" East 991.27 feet to a number 5 rebar and cap stamped "PLS 356548"; thence South 00°59'41" East 828.18 feet to a number 5 rebar and cap stamped "PLS 356548"; thence South 89°04'48" West 680.91 feet to a number 5 rebar and cap stamped "PLS 356548"; thence South 00°59'24" East 165.23 feet to a number 5 rebar and cap stamped "PLS 356548"; thence South 89°04'49" West 330.48 feet to a number 5 rebar and cap stamped "PLS 356548"; thence North 00°59'16" West 991.38 feet to the point of beginning.

DATE: 06-25-17
SCALE: 1"=150'
NUMBER: 1305026

RECORD OF SURVEY OF TAX PARCEL 01-065-0-0001 FOR: TITAN DEVELOPMENT LYING AND SITUATE IN THE NORTH HALF OF SECTION 35, TOWNSHIP 2 SOUTH, RANGE 6 WEST, SALT LAKE BASE AND MERIDIAN

Boundary Consultants
Professional Land Surveyors
1295 North 1700 West, Farr West, Utah
801-792-1669 801-690-7168 FAX

DEH
DEH
DEH
SHEET 1 OF 2



SCALE OF FEET
0 150 300

LEGEND

- 2B-28 = SECTION CORNER & SECTION LINE
- 32-33 = BOUNDARY LINE
- = RIGHT OF WAY LINES
- - - = ADJOINING PARCELS DEED LINES
- - - = WIRE FENCE LINES
- - - = OTHER FENCE LINES
- - - = DIMENSION LINES
- = FOUND PROPERTY CORNER AS NOTED
- ⊙ = SET BY SURV/CAP STAMPED "PLS 356548"
- ▨ = EXCEPTION AREA

LINE TABLE

LINE	LENGTH	BEARING
L1	270.50'	S52°20'30"W
L2	60.00'	S37°39'30"E
L3	165.39'	S52°20'30"W
L4	63.77'	S00°38'32"E
L5	123.91'	N89°21'28"E
L6	175.82'	S19°14'49"E
L7	52.84'	S00°38'32"E

SEE SHEET 2 OF 2

SUBJECT PARCEL A
Contains 80.22 acres

SUBJECT PARCEL B
103.80 acres Gross
Less 20.05 acres Exception Parcel
Contains 83.75 Net acres

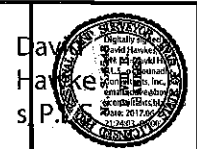
North Quarter Corner Section 35, Township 2 South, Range 6 West, Salt Lake Base and Meridian, Find Tooele County Brass Cap Monument

Northeast Corner Section 35, Township 2 South, Range 6 West, Salt Lake Base and Meridian, Find Tooele County Brass Cap Monument

Center Quarter Corner Section 35, Township 2 South, Range 6 West, Salt Lake Base and Meridian, Find Tooele County Brass Cap Monument

East Quarter Corner Section 35, Township 2 South, Range 6 West, Salt Lake Base and Meridian, Find Tooele County Brass Cap Monument

South Quarter Corner Section 35, Township 2 South, Range 6 West, Salt Lake Base and Meridian, Find Tooele County Brass Cap Monument

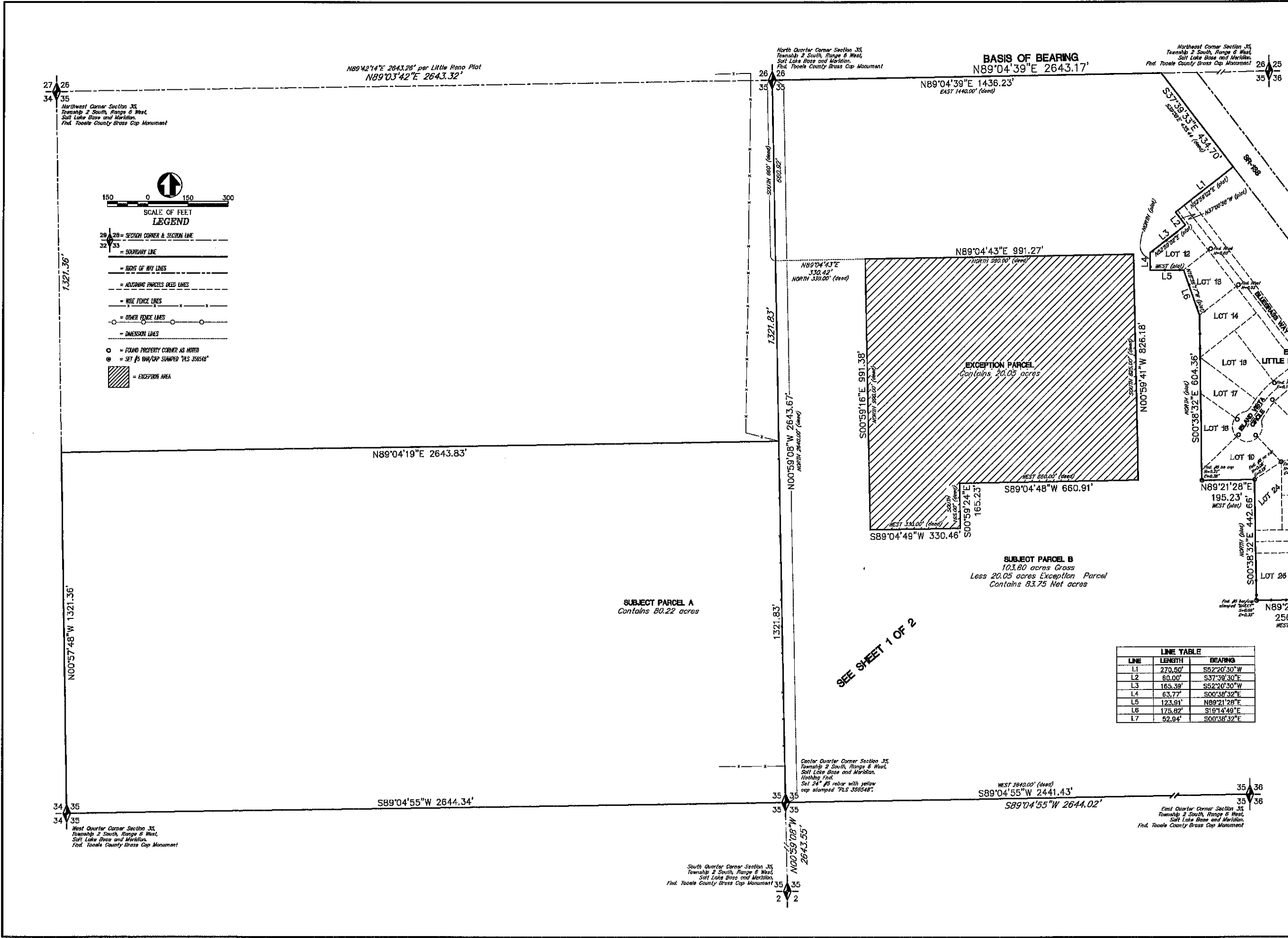


DATE: 06-25-17
 SCALE: 1"=150'
 PROJECT NUMBER: 1305026

**RECORD OF SURVEY OF
 TAX PARCEL 01-065-0-0001
 FOR: TITAN DEVELOPMENT**
 LYING AND SITUATE IN THE NORTH HALF OF SECTION 35,
 TOWNSHIP 2 SOUTH, RANGE 6 WEST, SALT LAKE BASE AND MERIDIAN

Boundary Consultants
 Professional Land Surveyors
 1295 North 1700 West, Farr West, Utah
 801-792-1668 801-690-7168 FAX

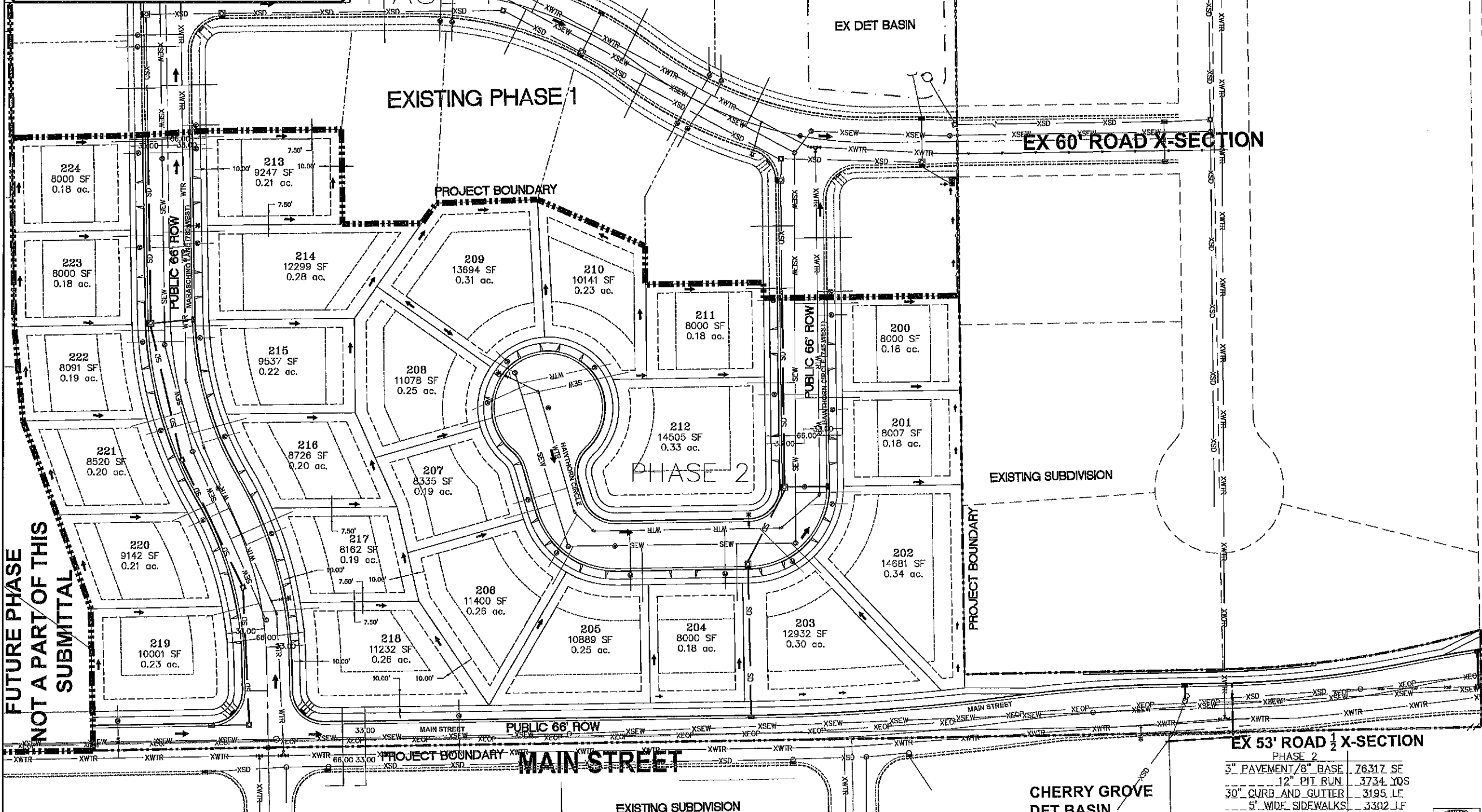
DEH	DEH	DEH
2	2	



LEGEND

SEWER LINE
 WATER MAIN
 PUBLIC ROW
 PROJECT BOUNDARY
 EXISTING SUBDIVISION
 CHERRY GROVE DET BASIN
 EX DET BASIN
 EX 60 ROAD X-SECTION
 EX 53 ROAD 1/2 X-SECTION

SCALE IN FEET
24" X 36" SHEET



FUTURE PHASE NOT A PART OF THIS SUBMITTAL

NOTE:
 All Right-of-Way Encroachment Permits must be obtained from the City of Grantsville prior to doing any work in the existing right-of-way on any state roads.

PHASE 2

3" PAVEMENT/8" BASE	76,317 SF
12" PIT RUN	3,734 YDS
30" CURB AND GUTTER	3,195 LF
5' WIDE SIDEWALKS	3,302 LF
ADA RAMPS	2
DRIVEWAYS	25
MONUMENTS	5



SHEET NO. **2**

PRECON MEETING: XXXXXX, 2021

Signature _____

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 3-31-17
 SURVEY BY: GPW
 DRAWN BY: GPW
 DESIGNED BY: GPW
 CHECKED BY: GPW
 SCALE: 1"=40'

GATEWAY CONSULTING, Inc.
 P.O. BOX 957005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultinginc.com

CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

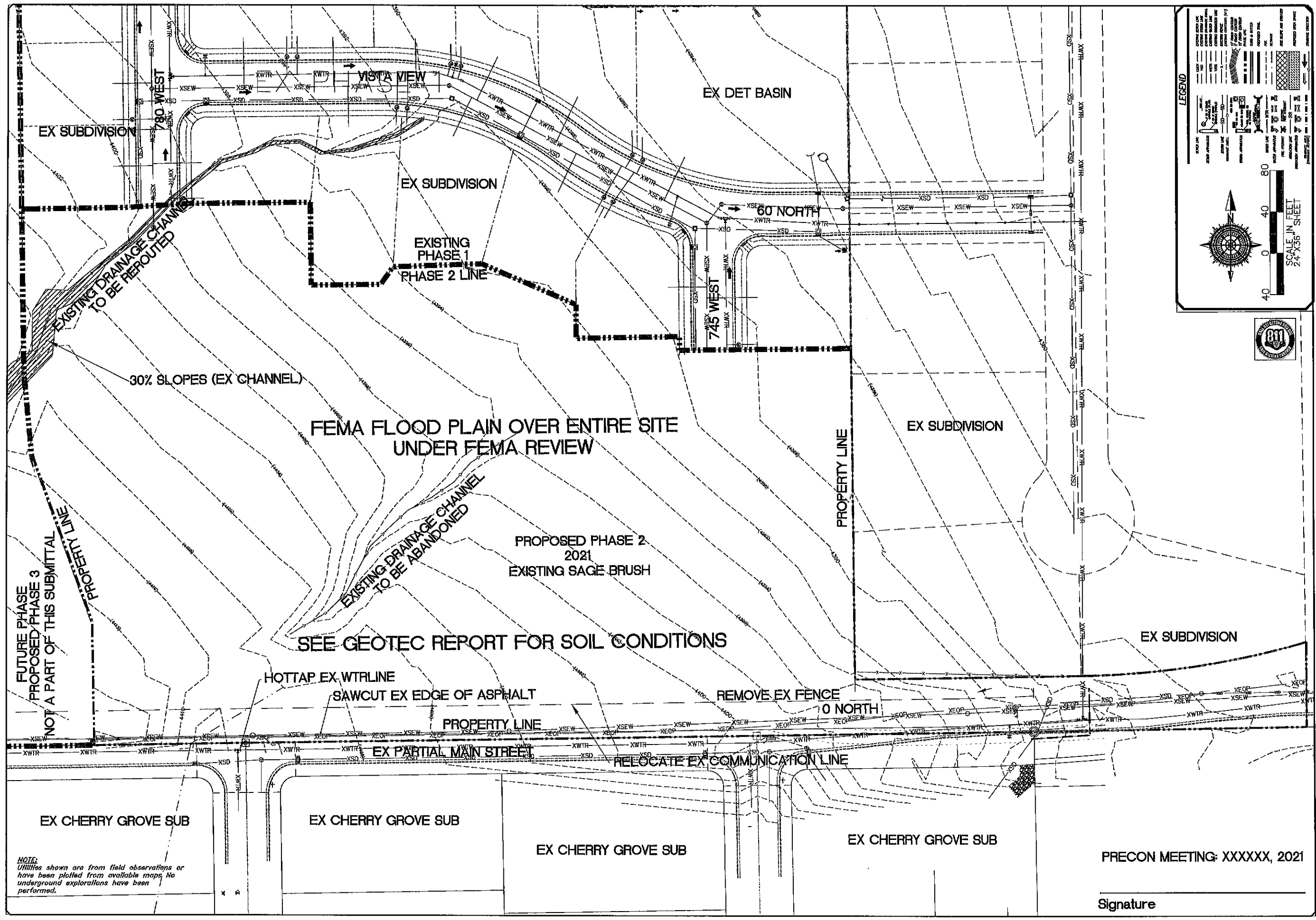
**HAWTHORN ESTATES
 PHASE 2
 OVERALL SITE PLAN**

5-6-2021

GRANTSVILLE
 CITY

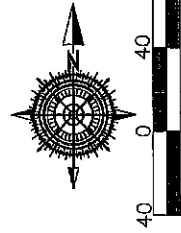


SHEET NO. **2**



LEGEND

EXISTING LINE	---
EXISTING UTILITY	---
EXISTING DRIVE	---
EXISTING SIDEWALK	---
EXISTING WALKWAY	---
EXISTING DRAINAGE CHANNEL	---
EXISTING CURB	---
EXISTING CONCRETE	---
EXISTING ASPHALT	---
EXISTING GRAVEL	---
EXISTING SAND	---
EXISTING SOIL	---
EXISTING VEGETATION	---
EXISTING FENCE	---
EXISTING COMMUNICATION LINE	---
EXISTING UTILITY TRENCH	---
EXISTING UTILITY CROSSING	---
EXISTING UTILITY CROSSING UNDER	---
EXISTING UTILITY CROSSING OVER	---
EXISTING UTILITY CROSSING UNDER/OVER	---
EXISTING UTILITY CROSSING UNDER/OVER/UNDER	---
EXISTING UTILITY CROSSING UNDER/OVER/UNDER/UNDER	---
EXISTING UTILITY CROSSING UNDER/OVER/UNDER/UNDER/UNDER	---
EXISTING UTILITY CROSSING UNDER/OVER/UNDER/UNDER/UNDER/UNDER	---



GATEWAY CONSULTING, Inc.
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 994-5848 FAX: (801) 432-7050
 paul@gatewayconsulting.com
 CIVIL ENGINEERING, CONSULTING, LAND PLANNING
 CONSTRUCTION MANAGEMENT

HAWTHORN ESTATES
PHASE 2
 EXISTING SITE AND DEMOLITION PLAN
 5-6-2021

ORG. DATE: 5-31-17
 SURVEY BY: GFW
 DRAWN BY: GFW
 DESIGNED BY: GFW
 CHECKED BY: GFW
 SCALE: 1"=40'
 NO. DESCRIPTION DATE
 APPD

GRANTSVILLE CITY



PRECON MEETING: XXXXXX, 2021

Signature _____

NOTE: Utilities shown are from field observations or have been plotted from available maps. No underground explorations have been performed.

NOTE:
A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF GRANTSVILLE PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY ON ANY STATE ROADS.

NOTE:
ACCEPTED CONSTRUCTION DRAWING OR A GRADING PERMIT MUST BE OBTAINED FROM GRANTSVILLE CITY PRIOR TO DISTURBING ANY VEGETATION OR MOVING ANY SOIL. CONTACT CITY ENGINEER AT 435-884-4661

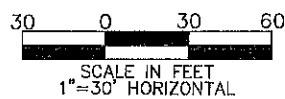
NOTE:
A qualified Geo-tech shall monitor the excavations and determine the locations that require additional granular subbase and specify the depth required.

ENGINEER CERTIFICATION:
With my stamp I hereby certify that this design for the onsite drainage of this development was prepared by me (or under my direct supervision) in accordance with the provisions of Grantsville City's Standard Specifications and Drawings, and was designated to comply with the provisions thereof. I understand that the City assumes no responsibility or liability whatsoever for this design.

PRECON MEETING: XXXXXX, 2021

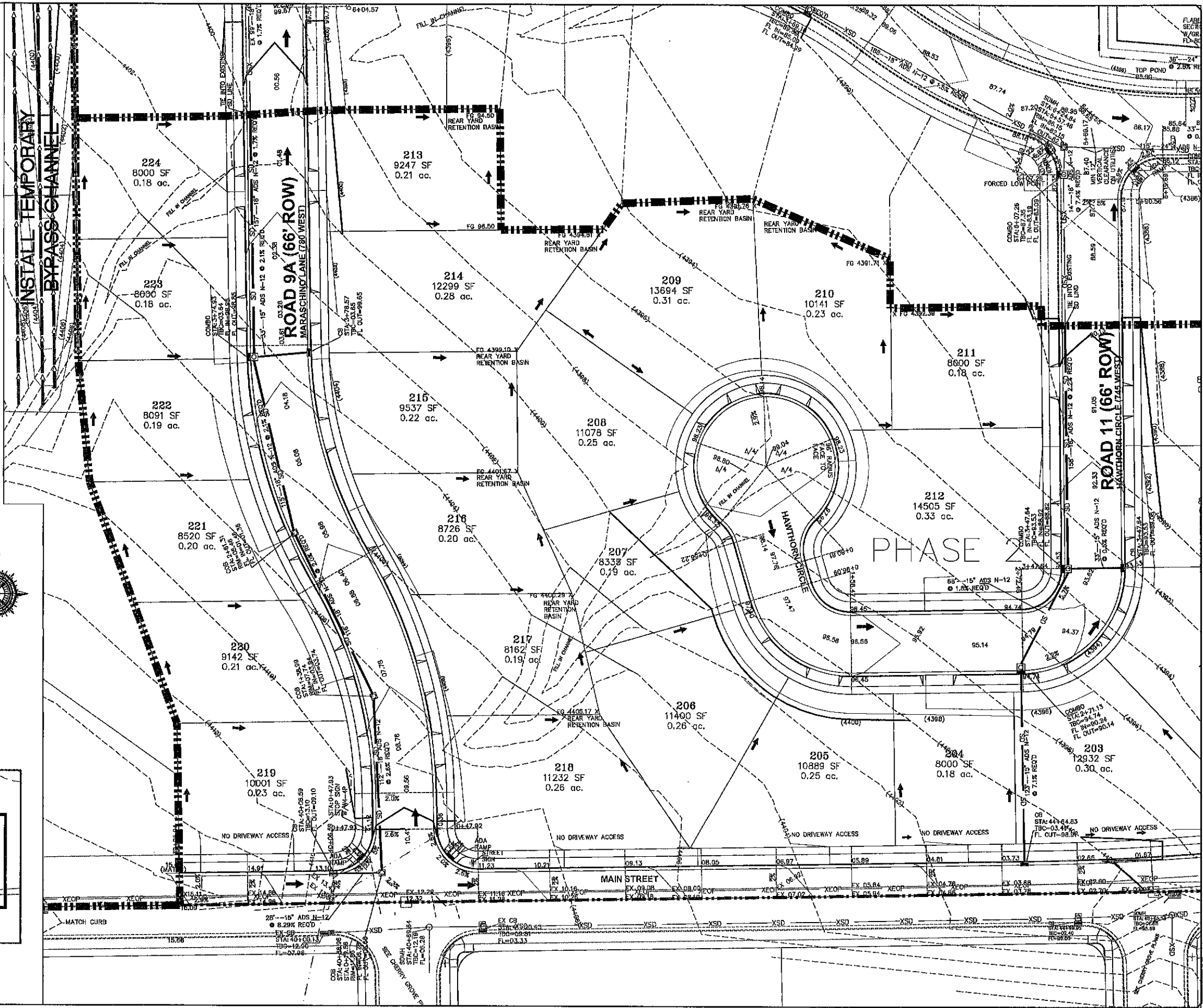
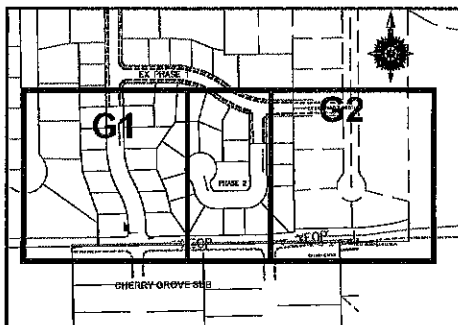
Signature

BENCHMARK:
ELEVATION: 4446.90
DESCRIPTION: CENTER 1/4 CORNER OF SECT. 35, T2S, R6W SET #5 BAR WITH YELLOW CAP STAMPED "PLS 356348"



LEGEND

OWNER LINE	EXISTING SIDEWALK	EXISTING SIDEWALK	EXISTING SIDEWALK
OWNER APPROVAL	EXISTING SIDEWALK	EXISTING SIDEWALK	EXISTING SIDEWALK
STORM LINE	EXISTING SIDEWALK	EXISTING SIDEWALK	EXISTING SIDEWALK
STORM APPROVAL	EXISTING SIDEWALK	EXISTING SIDEWALK	EXISTING SIDEWALK
WATER LINE	EXISTING SIDEWALK	EXISTING SIDEWALK	EXISTING SIDEWALK
WATER APPROVAL	EXISTING SIDEWALK	EXISTING SIDEWALK	EXISTING SIDEWALK
THE PROPERTY	EXISTING SIDEWALK	EXISTING SIDEWALK	EXISTING SIDEWALK
PROPOSED APPROVAL	EXISTING SIDEWALK	EXISTING SIDEWALK	EXISTING SIDEWALK



NO.	DESCRIPTION	DATE	APP'D

DATE: 3-31-21	SCALE: 1"=30'
SURVEY BY: CPW	DESIGNED BY: CPW
DRAWN BY: CPW	CHECKED BY: CPW

GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTHERN JORDAN, UT 84095
PH: (801) 994-5848
paul@gatewayconsultinginc.com

CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

**HAWTHORN ESTATES
PHASE 2**

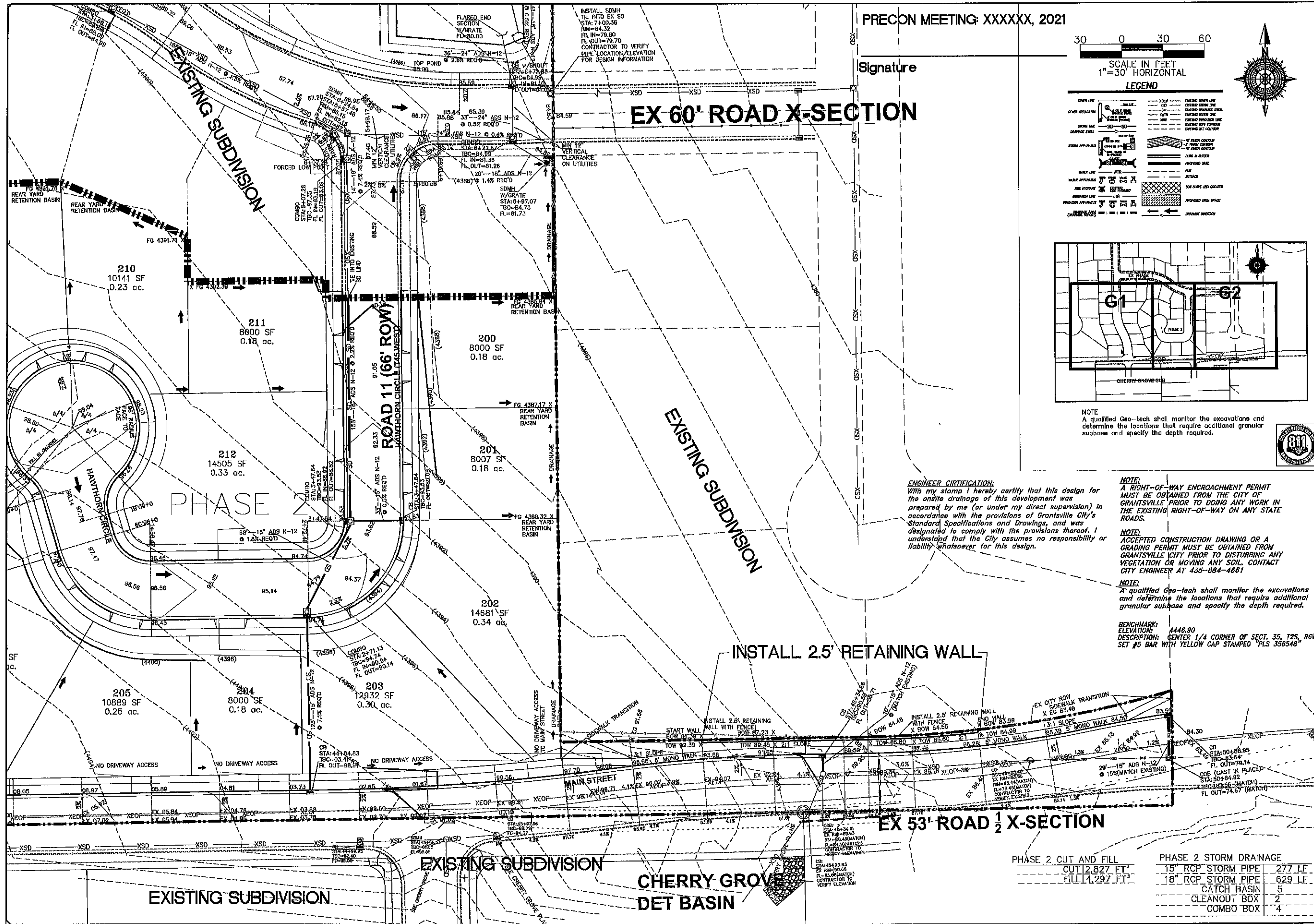
GRADING AND DRAINAGE @ 1"=30'

PRINT DATE: 5-6-2021

GRANTSVILLE
CITY

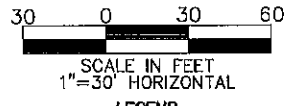


SHEET NO. G1



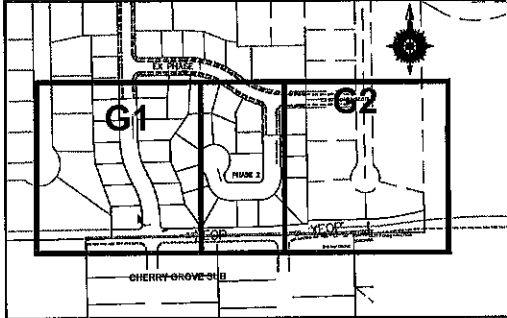
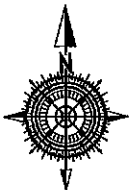
PRECON MEETING: XXXXXX, 2021

Signature



LEGEND

OTHER LINE	...	EXISTING SIDEWALK	...
SEWER APPROPRIATE	...	EXISTING SIDEWALK	...
...



NOTE
A qualified Geo-tech shall monitor the excavations and determine the locations that require additional granular subbase and specify the depth required.

ENGINEER CERTIFICATION:
With my stamp I hereby certify that this design for the onsite drainage of this development was prepared by me (or under my direct supervision) in accordance with the provisions of Grantsville City's Standard Specifications and Drawings, and was designated to comply with the provisions thereof. I understand that the City assumes no responsibility or liability whatsoever for this design.

NOTE:
A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF GRANTSVILLE PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY ON ANY STATE ROADS.

NOTE:
ACCEPTED CONSTRUCTION DRAWING OR A GRADING PERMIT MUST BE OBTAINED FROM GRANTSVILLE CITY PRIOR TO DISTURBING ANY VEGETATION OR MOVING ANY SOIL. CONTACT CITY ENGINEER AT 435-884-4661

NOTE:
A qualified Geo-tech shall monitor the excavations and determine the locations that require additional granular subbase and specify the depth required.

BENCHMARK:
ELEVATION: 4446.80
DESCRIPTION: CENTER 1/4 CORNER OF SECT. 35, T2S, R6W SET #5 BAR WITH YELLOW CAP STAMPED "PLS 356548"

INSTALL 2.5' RETAINING WALL

EX 53' ROAD 1/2 X-SECTION

PHASE 2 CUT AND FILL	PHASE 2 STORM DRAINAGE
CUT 12,827 FT.	15" RCP STORM PIPE 277 LF
FILL 4,292 FT.	18" RCP STORM PIPE 629 LF
	CATCH BASIN 5
	CLEANOUT BOX 2
	COMBO BOX 4

DATE	APP'D		GATEWAY CONSULTING, Inc. P.O. BOX 951006 SOUTH JORDAN, UT 84095 PH: (801) 694-5946 FAX: (801) 432-7050 email@gatewayconsultinginc.com
SURVEY BY:	CIPW		
DESIGNED BY:	CIPW		
CHECKED BY:	CIPW		CIVIL ENGINEERING CONSULTING LAND PLANNING CONSTRUCTION MANAGEMENT
SCALE:	1"=30'		

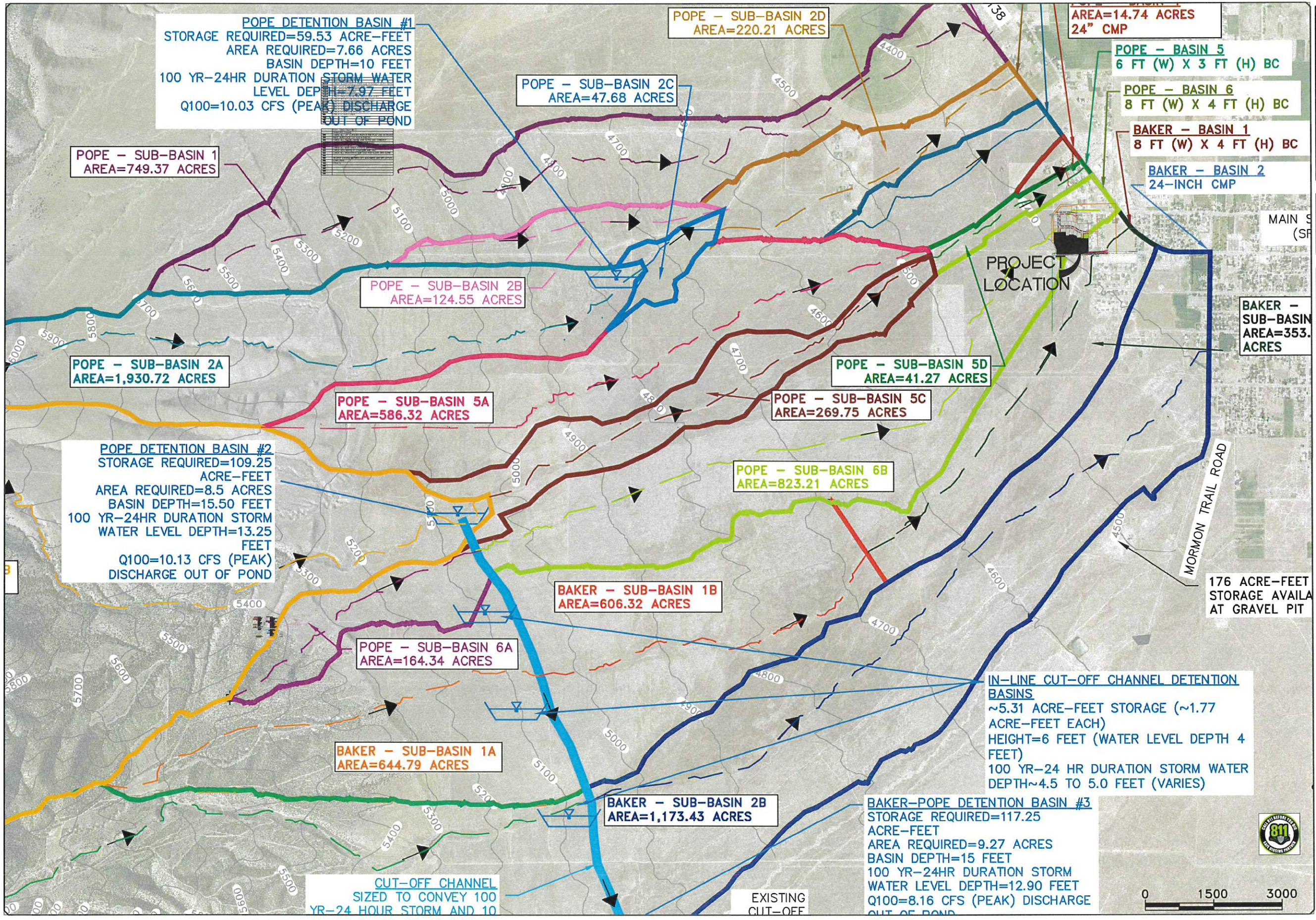
HAWTHORN ESTATES PHASE 2

GRADING AND DRAINAGE @ 1"=30'

PRINT DATE: 5-6-2021

GRANTSVILLE CITY

SHEET NO. **G2**



NO.	DESCRIPTION	DATE	APP'D.

ORG. DATE: 3-31-17
 SURVEY BY: GPW
 DRAWN BY: GPW
 DESIGNED BY: GPW
 CHECKED BY: GPW
 SCALE: 1"=1500'

GATEWAY CONSULTING, Inc.
 P.O. BOX 957086 SOUTH JORDAN, UT 84095
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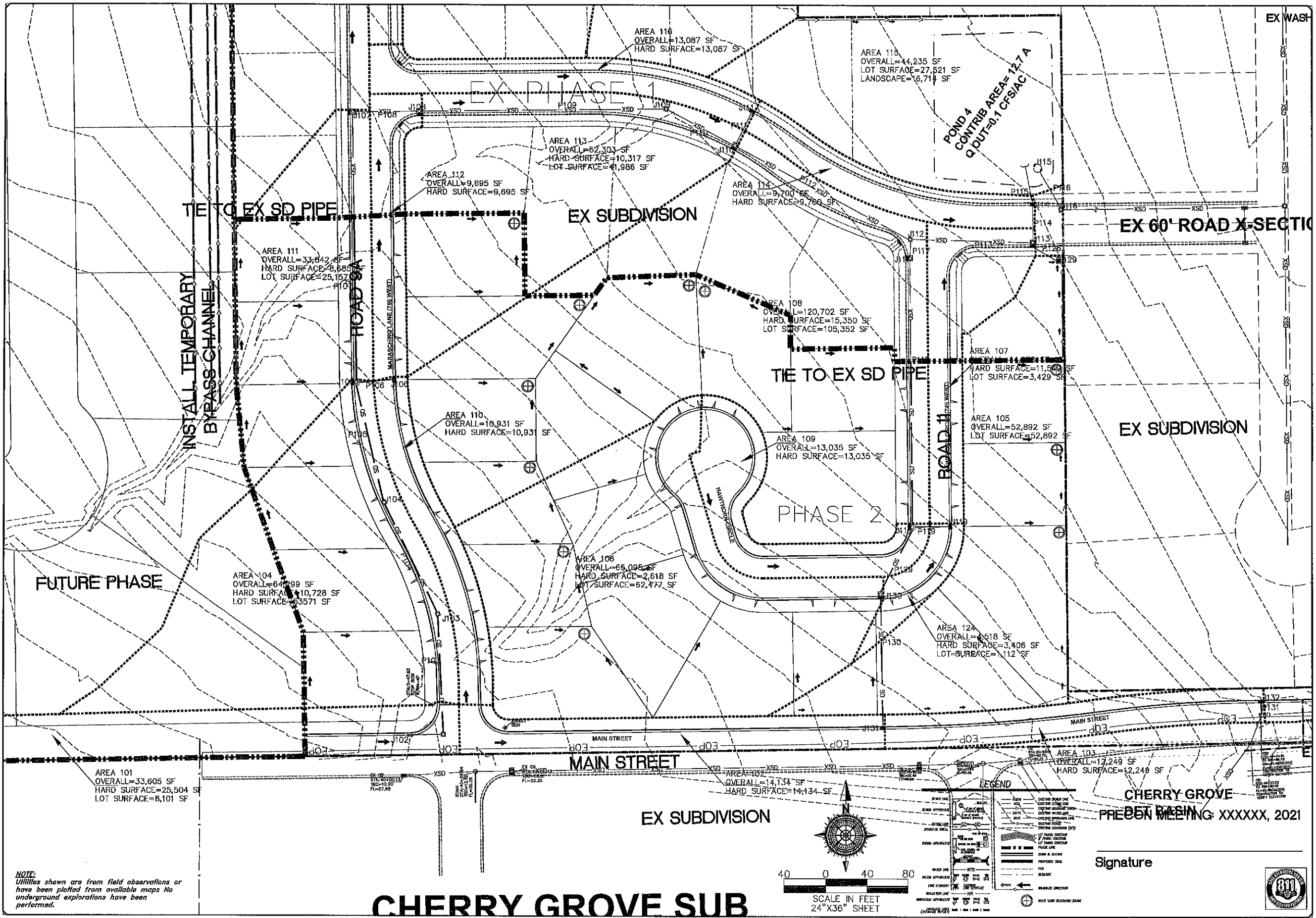
CIVIL ENGINEERING CONSULTING LAND PLANNING
 CONSTRUCTION MANAGEMENT

HAWTHORN ESTATES
PHASE 2
 OVERALL DRAINAGE MASTER PLAN
 5-6-2021

GRANTSVILLE
 CITY

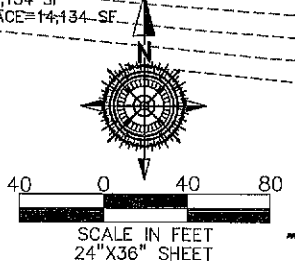


SHEET NO. 4



NOTE:
 Utilities shown are from field observations or have been plotted from available maps. No underground explorations have been performed.

CHERRY GROVE SUB



LEGEND

[Symbol]	EXISTING DRAINAGE LINE
[Symbol]	EXISTING STORM LINE
[Symbol]	EXISTING SANITARY LINE
[Symbol]	EXISTING MIDDLE LINE
[Symbol]	EXISTING EMERGENCY LINE
[Symbol]	EXISTING FLOOD LINE
[Symbol]	EXISTING CONTOUR DATA
[Symbol]	17' FLOOD CONTROL
[Symbol]	12' FLOOD CONTROL
[Symbol]	17' FLOOD CONTROL
[Symbol]	PHASE LINE
[Symbol]	DRAIN & OUTLET
[Symbol]	PIPE
[Symbol]	SEWER
[Symbol]	MANHOLE
[Symbol]	MANHOLE INLET
[Symbol]	MANHOLE OUTLET
[Symbol]	MANHOLE CONNECTION
[Symbol]	MANHOLE REVISION

Signature

NO.	DESCRIPTION	DATE	APP'D.

ORIG. DATE:	3-31-17
SURVEY BY:	GRW
DRAWN BY:	GRW
DESIGNED BY:	GRW
CHECKED BY:	GRW
SCALE:	1"=40'

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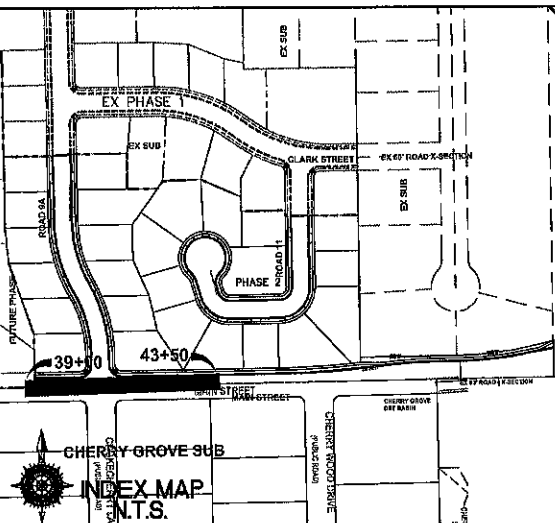
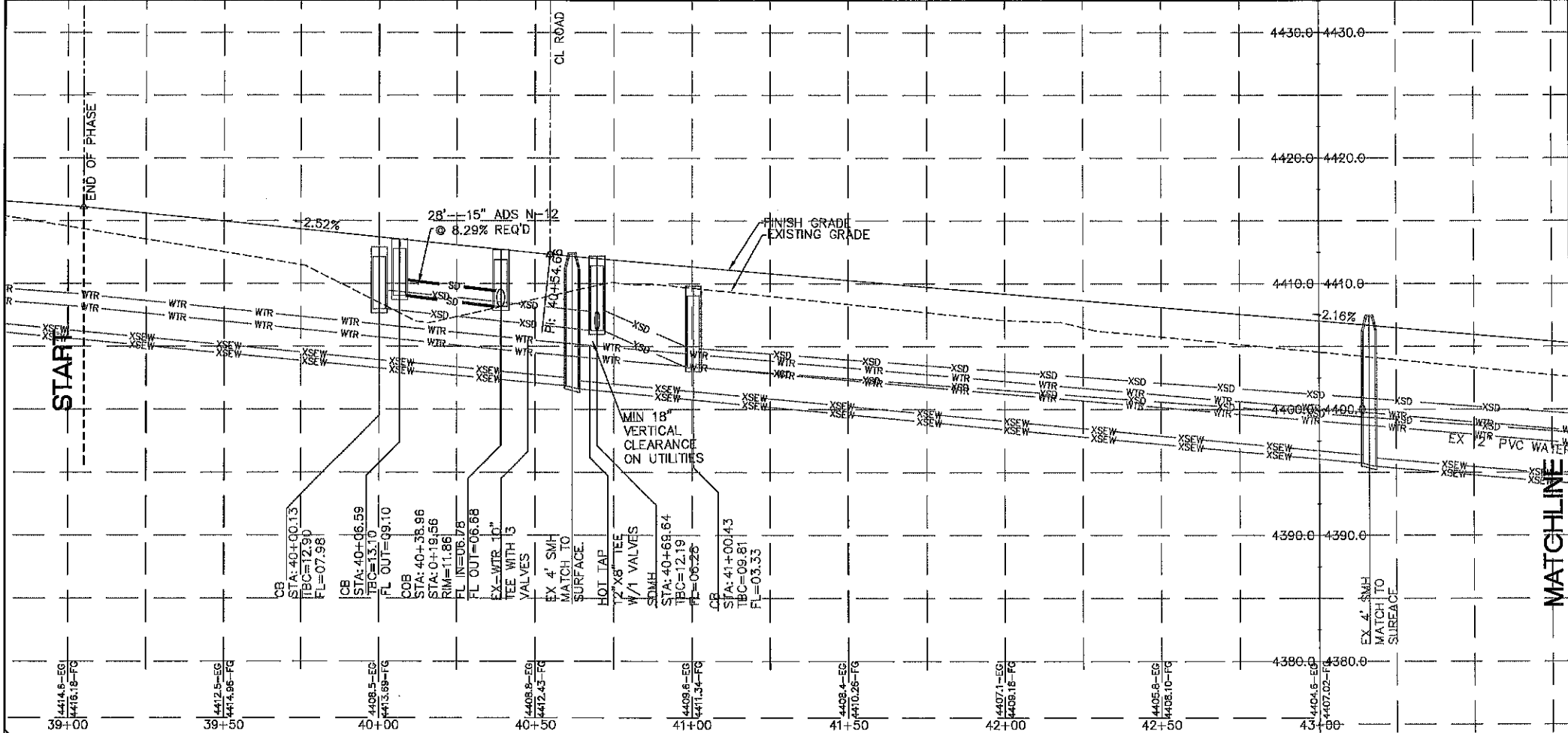
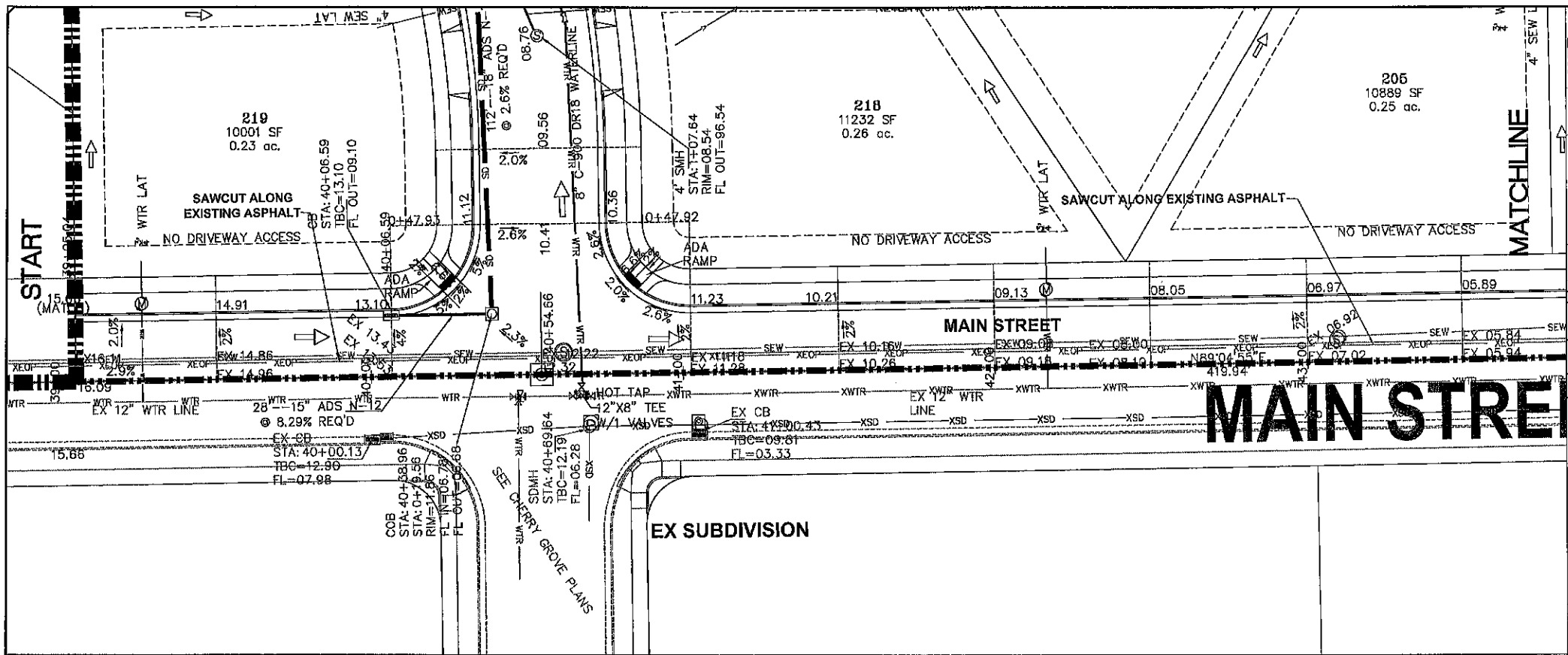
**HAWTHORN ESTATES
 PHASE 2
 PHASE 2 DRAINAGE MASTER PLAN**

5-6-2021

GRANTSVILLE
 CITY



SHEET NO. **5**



PRECON MEETING: XXXXXX, 2021

Signature _____

NO.	DESCRIPTION	DATE

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CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

**HAWTHORN ESTATES
 PHASE 2**
 MAIN STREET
 STA: 39+00 TO 43+50
 PLAN and PROFILE

PRINT DATE: 5-6-2021

GRANTSVILLE CITY

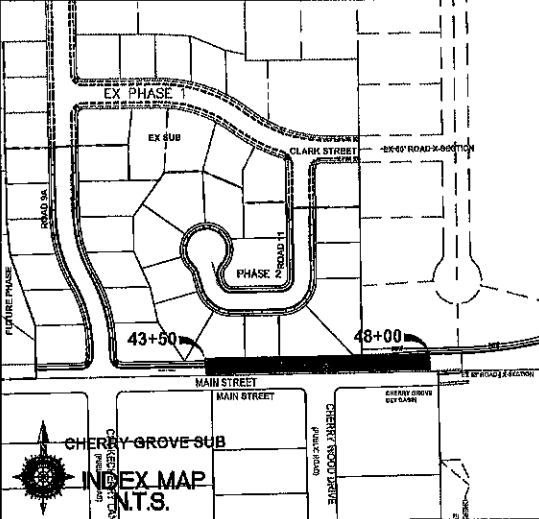
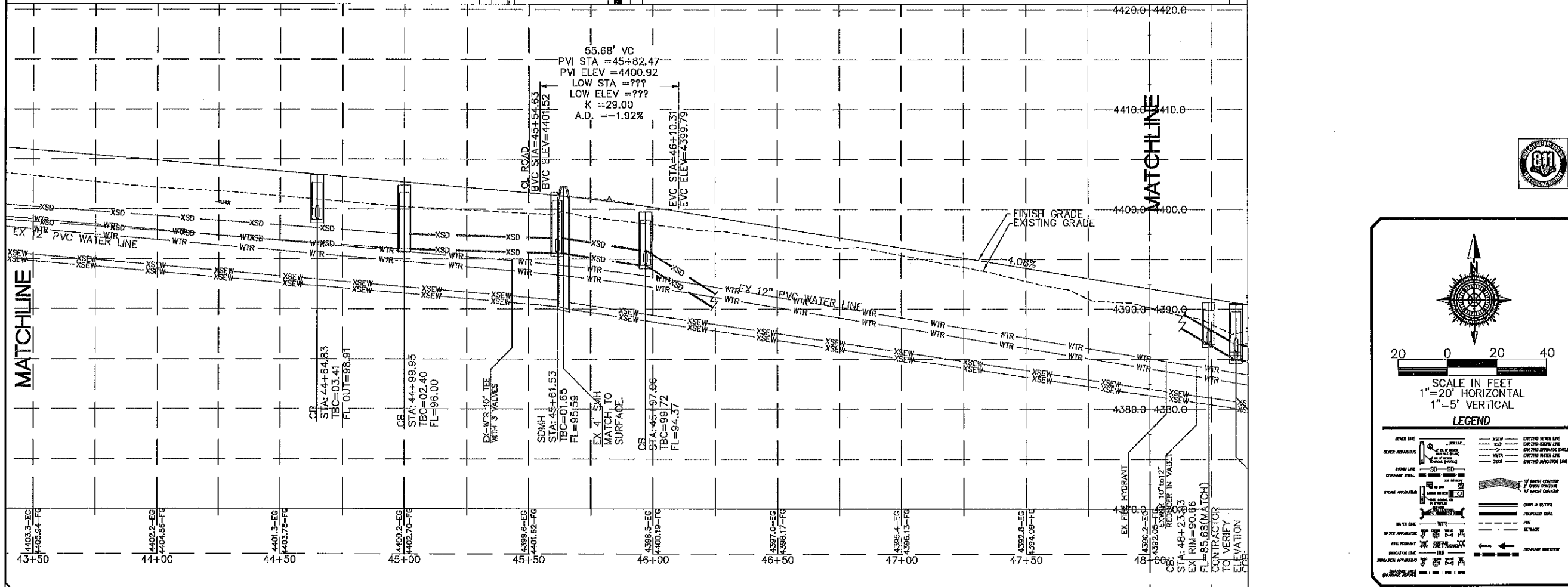
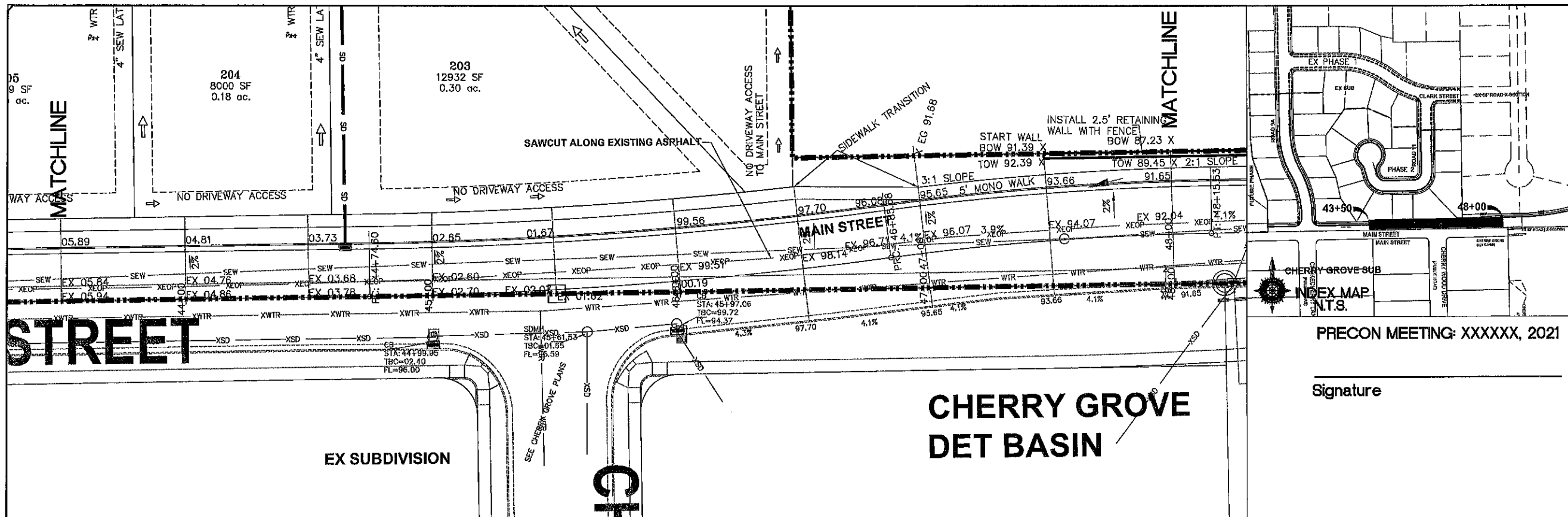


SHEET NO. PP1

SCALE IN FEET
 1"=20' HORIZONTAL
 1"=5' VERTICAL

LEGEND

SEWER LINE	WTR LINE	EXISTING SEWER LINE	EXISTING WTR LINE
SEWER APPROPRIATION	WTR APPROPRIATION	EXISTING SEWER LINE	EXISTING WTR LINE
STORM LINE	WTR LINE	EXISTING STORM LINE	EXISTING WTR LINE
STORM APPROPRIATION	WTR APPROPRIATION	EXISTING STORM LINE	EXISTING WTR LINE
WTR LINE	WTR LINE	EXISTING WTR LINE	EXISTING WTR LINE
WTR APPROPRIATION	WTR APPROPRIATION	EXISTING WTR LINE	EXISTING WTR LINE
SEWER LINE	WTR LINE	EXISTING SEWER LINE	EXISTING WTR LINE
SEWER APPROPRIATION	WTR APPROPRIATION	EXISTING SEWER LINE	EXISTING WTR LINE



PRECON MEETING: XXXXXX, 2021

Signature _____

LEGEND

Center Line	Proposed Sewer	Existing Sewer	Proposed Water	Existing Water
Proposed Storm	Proposed Gas	Proposed Electric	Proposed Telephone	Proposed Cable
Proposed Gas	Proposed Electric	Proposed Telephone	Proposed Cable	Proposed Fiber
Proposed Fiber	Proposed Storm	Proposed Sewer	Proposed Water	Proposed Gas

NO.	DESCRIPTION	DATE	APP'D.

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CONSTRUCTION MANAGEMENT

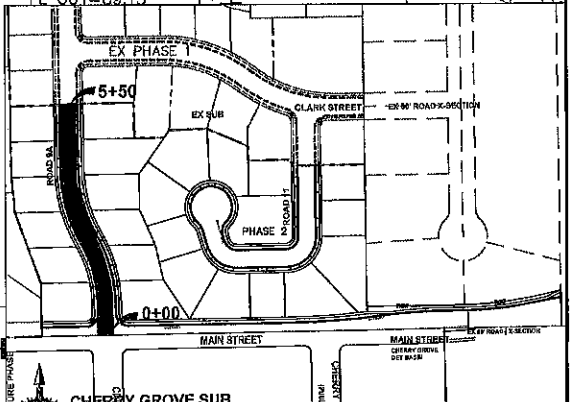
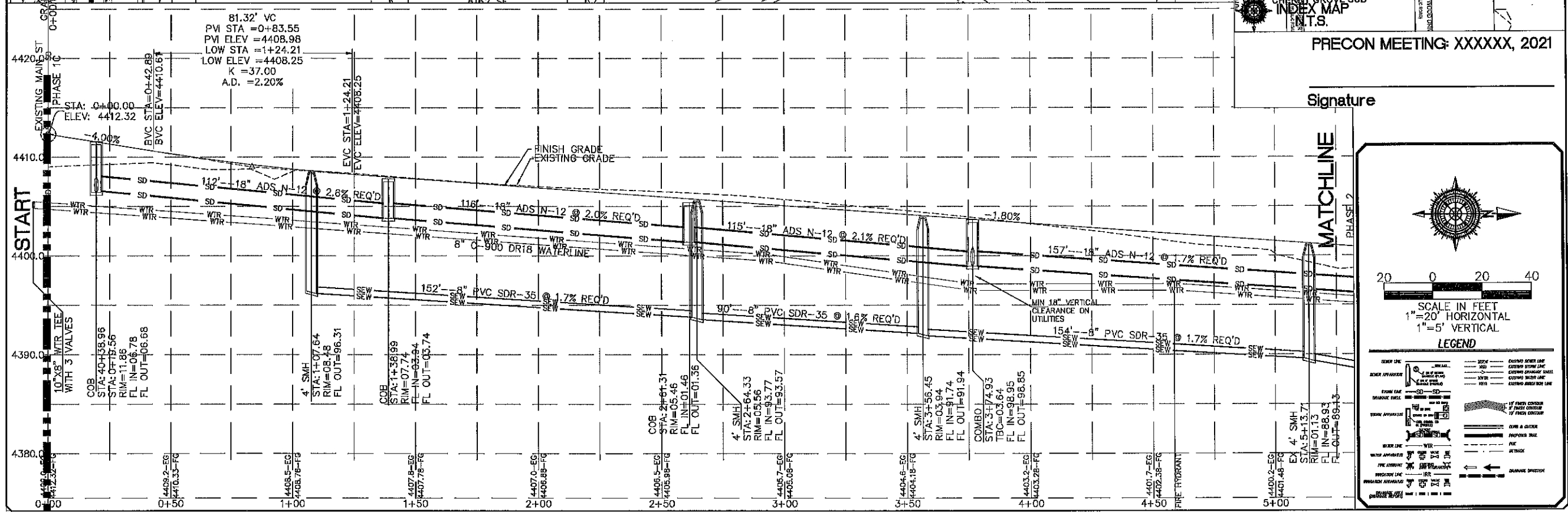
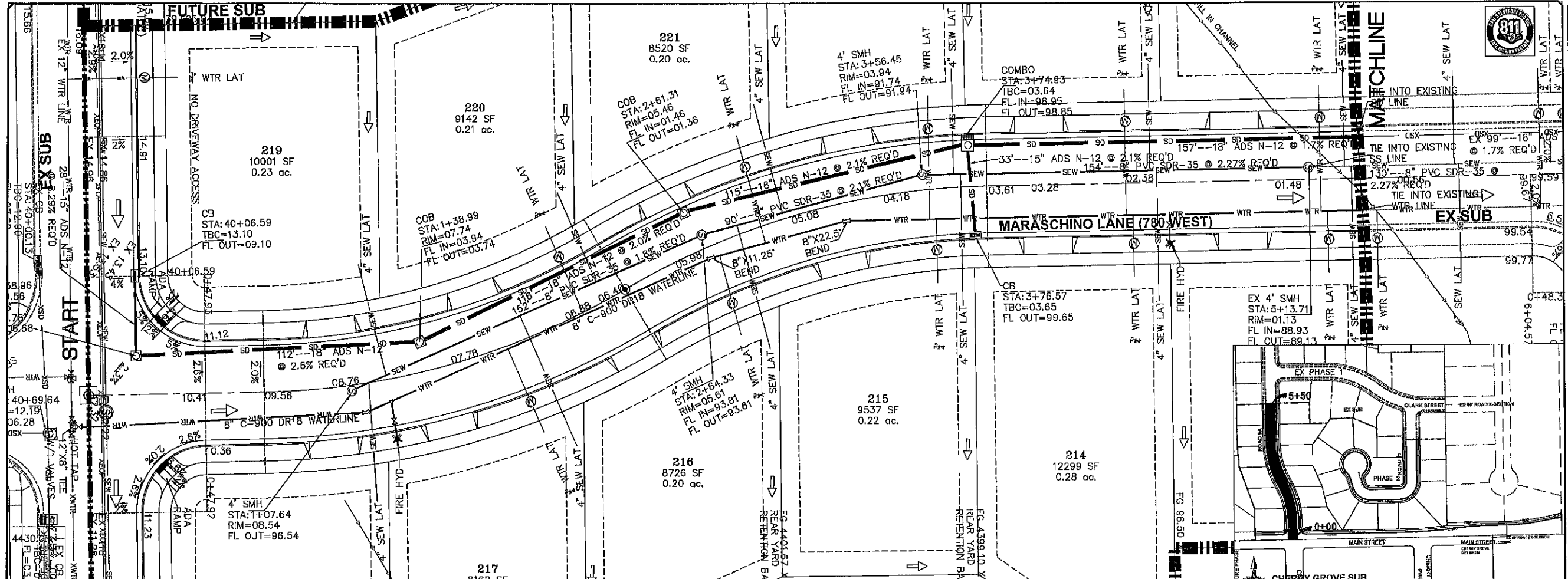
HAWTHORN ESTATES
PHASE 2
MAIN STREET
STA: 43+50 TO 48+00
PLAN and PROFILE

PRINT DATE: 5-6-2021

GRANTSVILLE
CITY



SHEET NO. PP2



Signature

LEGEND

SEWER LINE	4" SMH	4" SEW LAT	4" WTR LAT	15' MIN. COVER	15' MIN. COVER
SEWER APPURTENANCE	4" SMH	4" SEW LAT	4" WTR LAT	15' MIN. COVER	15' MIN. COVER
WATER APPURTENANCE	4" SMH	4" SEW LAT	4" WTR LAT	15' MIN. COVER	15' MIN. COVER
PROPOSED APPURTENANCE	4" SMH	4" SEW LAT	4" WTR LAT	15' MIN. COVER	15' MIN. COVER

SCALE IN FEET
1" = 20' HORIZONTAL
1" = 5' VERTICAL

811
UTILITY LOCATIONS

PRINT DATE: 5-6-2021

HAWTHORN ESTATES PHASE 2
MARASCHINO LANE
STA: START to 4+50
PLAN and PROFILE

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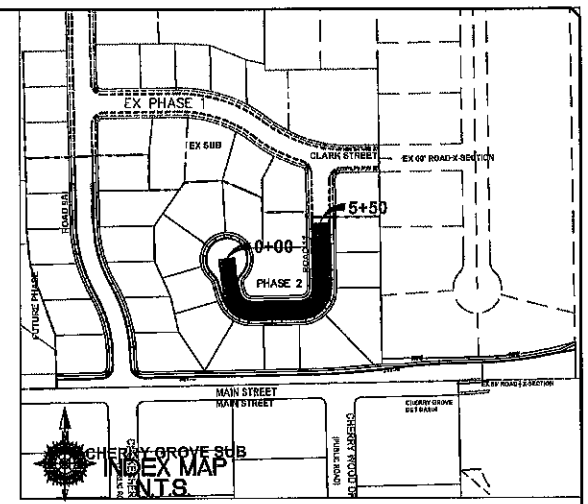
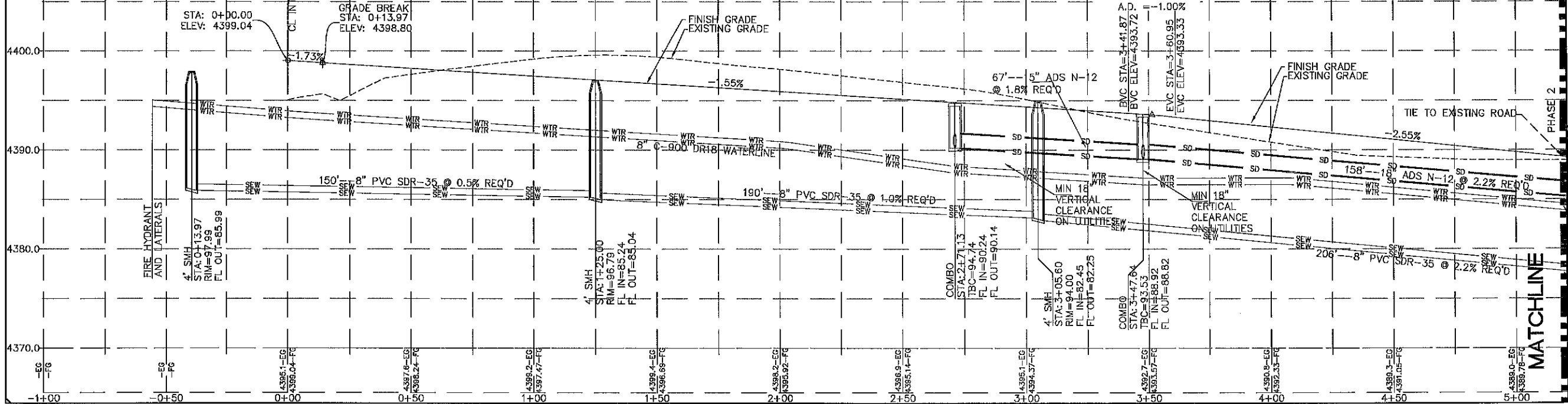
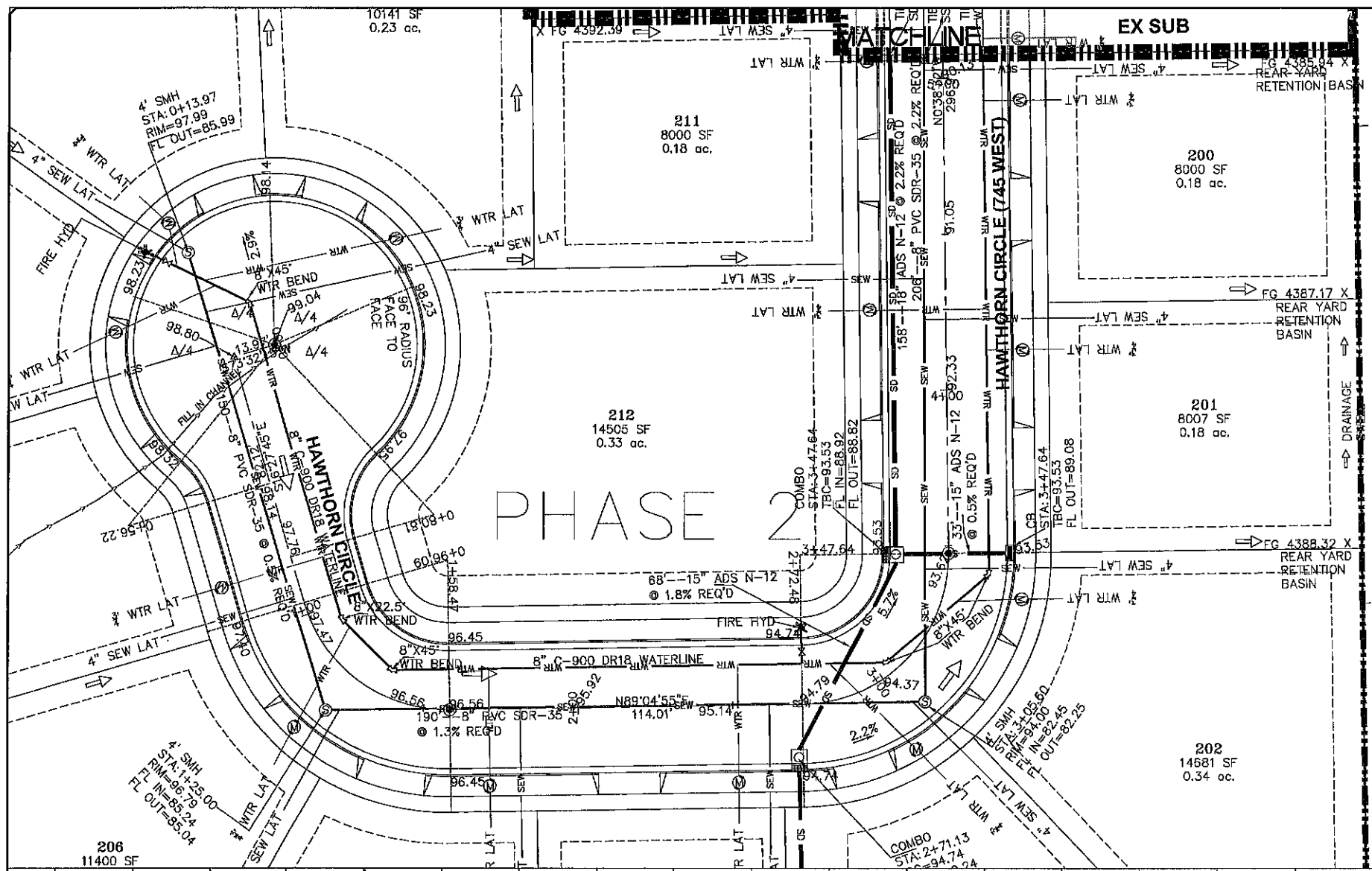
CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

NO.	DESCRIPTION	DATE	APPD

DATE: 5-31-17
SURVEY BY: GFW
DRAWN BY: GFW
DESIGNED BY: GFW
CHECKED BY: GFW
SCALE: 1" = 20'

GRANTSVILLE CITY

SHEET NO. PP4



PRECON MEETING: XXXXXX, 2021

Signature

SCALE IN FEET
 1"=20' HORIZONTAL
 1"=5' VERTICAL

LEGEND

	SEWER LATERAL		EXISTING SEWER LINE
	SEWER MAIN		EXISTING WATER LINE
	WATERLINE		EXISTING ROAD
	MANHOLE		PROPOSED ROAD
	RETENTION BASIN		UTILITY
	FIRE HYDRANT		EASEMENT
	DRIVEWAY		CHANGE STATION

NO.	DESCRIPTION	DATE

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 CIVIL ENGINEERING, CONSULTING, LAND PLANNING
 CONSTRUCTION MANAGEMENT

**HAWTHORN ESTATES
 PHASE 2**
 ROAD 11
 STA: START TO 5+50
 PLAN and PROFILE

GRANTSVILLE
 CITY

SHEET NO. **PP5**

PRINT DATE: 5-6-2021

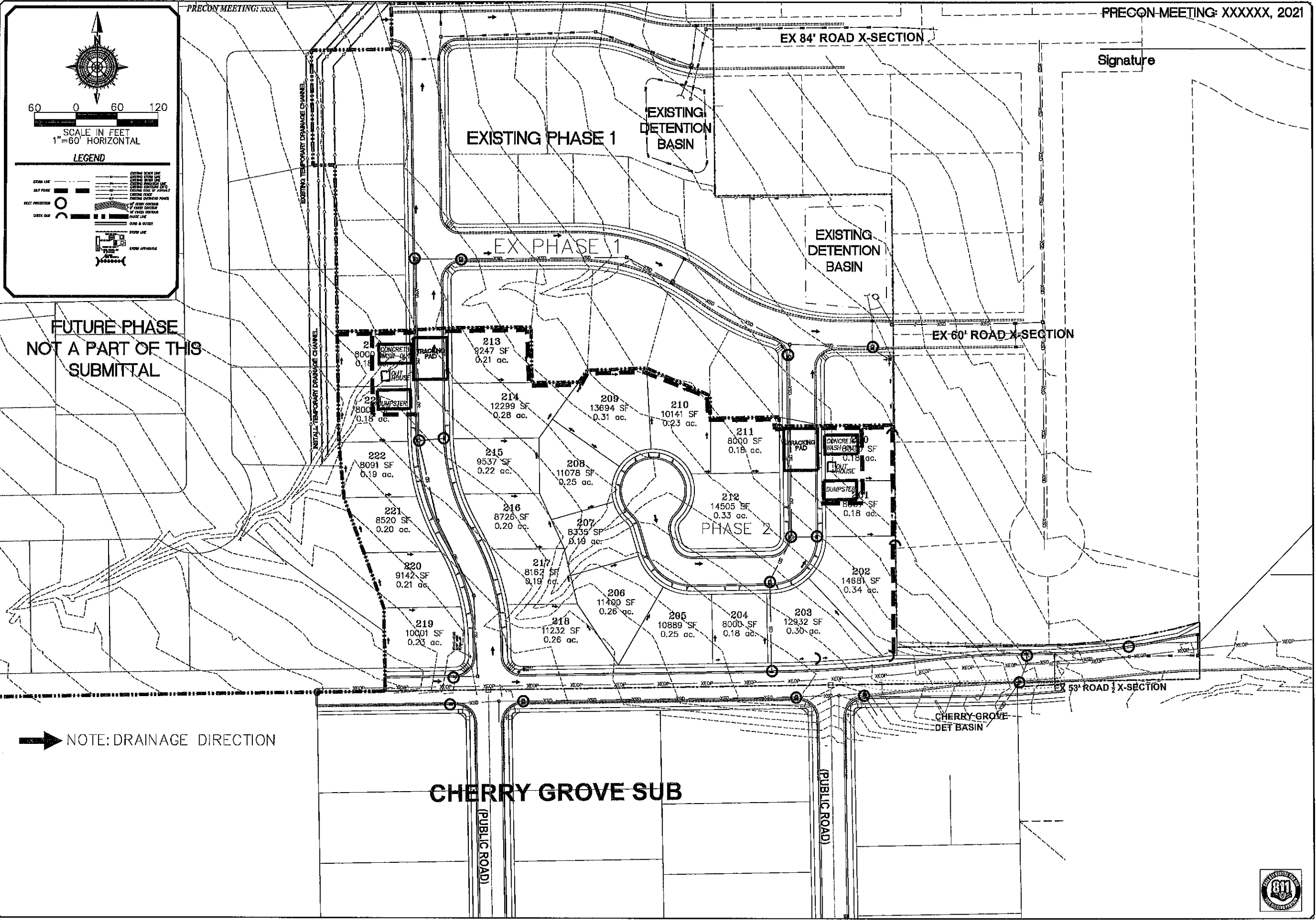
PRECON MEETING: XXXXX

SCALE IN FEET
1"=60' HORIZONTAL

LEGEND

EXISTING ROAD LINE	EXISTING STORM LINE
NEW ROAD LINE	NEW STORM LINE
EXISTING SIDEWALK	EXISTING SIDEWALK
NEW SIDEWALK	NEW SIDEWALK
EXISTING CURB	EXISTING CURB
NEW CURB	NEW CURB
EXISTING DRAINAGE	EXISTING DRAINAGE
NEW DRAINAGE	NEW DRAINAGE
EXISTING UTILITY	EXISTING UTILITY
NEW UTILITY	NEW UTILITY
EXISTING EASEMENT	EXISTING EASEMENT
NEW EASEMENT	NEW EASEMENT
EXISTING FENCE	EXISTING FENCE
NEW FENCE	NEW FENCE
EXISTING TREE	EXISTING TREE
NEW TREE	NEW TREE
EXISTING SIGN	EXISTING SIGN
NEW SIGN	NEW SIGN
EXISTING LIGHT	EXISTING LIGHT
NEW LIGHT	NEW LIGHT
EXISTING SIGNAGE	EXISTING SIGNAGE
NEW SIGNAGE	NEW SIGNAGE

FUTURE PHASE
NOT A PART OF THIS
SUBMITTAL



➔ NOTE: DRAINAGE DIRECTION

Signature

NO.	DESCRIPTION	DATE	APPD.

DATE: 1-1-18	SCALE: 1"=60'
SURVEY BY: GFW	CHECKED BY: GFW
DRAWN BY: GFW	
DESIGNED BY: GFW	

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CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

HAWTHORN ESTATES
PHASE 2

STORM WATER POLLUTION
PREVENTION PLAN

PRINT DATE: 5-6-2021

Grantsville
CITY



SHEET NO. SWPPP



Signature _____

GENERAL EROSION CONTROL NOTES

DURING CONSTRUCTION

- GENERAL EROSION CONTROL NOTES:
1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
 2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE GRANTSVILLE CITY PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES.
 3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE FROM DEBRIS FROM TRAFFIC FROM THE SITE.
 4. ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.
 5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR LANDSCAPED. REFER TO LANDSCAPE PLANS FOR SEED MIX AND PLANTING SPECIFICATIONS.
 6. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING ARE IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATIONS. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE.
 7. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY AND REMOVED WHEN THE SITE IS PAVED.
 8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.
 9. BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.
 11. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
 12. ALL MEASURES CONTAINED IN THIS PLAN MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT. ANY NEEDED CLEANING AND REPAIRS NEED TO BE DONE IMMEDIATELY UPON DISCOVERY.
 13. ALL UTILITY LINES SHALL BE CLEANED OF DIRT AND DEBRIS PRIOR TO BEING PUT IN TO SERVICE. DOWNGRADE LINES MUST BE PROTECTED FROM WASH-WATER DURING THE CLEANING TO AVOID CONTAMINATION AND COMPROMISING OUTFALL CLEANLINESS.

ADDITIONAL EROSION CONTROL NOTES

POST CONSTRUCTION

1. THE CUT SLOPES ARE PROGRAMMED AS SHOWN. TOPS OF 3:1 & 2:1 CUTS THAT OCCUR IN TOP SOIL WILL BE ROUNDED TO BLEND INTO NATURAL TERRAIN.
 2. EXCAVATED MATERIAL TO BE STOCKPILED IN AREAS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR.
 3. CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITY TO AREAS WITHIN THE FLAGGED LIMITS OF DISTURBANCE AND AS SHOWN ON THE PLANS AND WITHIN FIELD DESIGNATED STORAGE, STAGING ACCESS, CONSTRUCTION AND MATERIAL WASTE AREAS AS APPROVED BY THE CITY ENGINEER.
 4. CONTRACTOR SHALL ABIDE BY EROSION CONTROL REQUIREMENTS AS SET FORTH HEREIN.
 5. ORGANIC MATERIALS WILL BE SEPARATED, REMOVED FROM THE ROAD BEDS AND STOCKPILED IN LOCATIONS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR AND COUNTY INSPECTOR. NO ORGANIC MATERIAL WILL BE PLACED IN THE STRUCTURAL FILLS AREA.
 6. AFTER CLEARING AND GRUBBING OPERATIONS, TOPSOIL IS TO BE STOCKPILED IN AREAS TO BE DETERMINED IN FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR. NO ORGANIC MATERIAL OR ROCK LARGER THAN 24" WILL BE PLACED IN ROADWAY FILLS. 12" MINUS IN TOP 1' OF ROADWAY.
 7. NO BRUSH OR TOPSOIL SHALL BE STOCKPILED WITHIN THE ROADWAY RIGHT OF WAYS.
 8. ALL FILL SLOPES WILL BE GRADED AS SHOWN OR AS DETERMINED BY A GEOTECHNICAL ENGINEER. COMPACTION OF EMBANKMENT FILLS WILL BE CONSTRUCTED TO GRANTSVILLE CITY ROADWAY STANDARDS. FILL AREAS SHALL BE CLEARED, GRUBBED, STRIPPED OF SOIL AND SCARIFIED PRIOR TO PLACEMENT OF SUITABLE EMBANKMENT MATERIAL.
 9. ALL DISTURBED AREAS WILL BE REVEGETATED ACCORDING TO REVEGETATION / EROSION CONTROL NOTES WITH A GRASS MIXTURE AS FOLLOWS APPLIED AT A MINIMUM RATE OF 60 LBS. PLS (PURE LIVE SEED PER ACRE WITH MIX)
- | NATIVE GRASSES | |
|----------------|--|
| % Pure | Grass Type |
| 20.00 | Hard fescue |
| 15.00 | Pubescent wheat grass |
| 15.00 | Orchard grass (seed forming) |
| 15.00 | smooth brom grass |
| 20.00 | Stream bank wheat grass (seed forming) |
| 15.00 | Western wheat grass |
- TOPSOIL SHALL BE PLACED TO A DEPTH OF 6" ON ALL CUT AND FILL SLOPES 3:1 OR FLATTER. REVEGETATION AREAS WILL BE SEEDED AND MULCHED AS SOON AS POSSIBLE AFTER CONSTRUCTION COMPLETION.
10. SILT FENCING WILL BE HELD IN PLACE WITH 2 X 2 STAKES AND WILL BE PLACED ON THE DOWN-HILL SIDES OF ALL DISTURBED AREAS AND AREAS USED FOR STOCKPILING AND TRENCHED INTO GROUND.
 11. THE SILT FENCING SHALL BE INSTALLED BEFORE CLEARING AND GRUBBING AT THE TOE OF THE DISTURBED DOWNHILL SLOPE. NO GRUBBED AREA SHALL BE WITHOUT SILT FENCE PROTECTION FOR LONGER THAN 24 HOURS. THE SILT FENCE SHALL BE MONITORED AND REPLACED IF NECESSARY.
 12. ALL SITE DRAINAGE SHALL BE ADEQUATELY PROVIDED FOR DURING CONSTRUCTION.
 13. NATURAL VEGETATION WILL BE PRESERVED AND PROTECTED AS MUCH AS POSSIBLE AND VEGETATION REMOVAL WILL BE MINIMIZED.
 14. DRAINAGE WAYS AND OUTLETS WILL BE PROTECTED FROM INCREASED FLOWS AND EROSION.
 15. THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SANITARY SEWER, TELEPHONE, ELECTRICAL, NATURAL GAS AND CABLE TELEVISION, OF THE PROPOSED CONSTRUCTION WITHIN THE UTILITIES AREA OF OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEETING WITH AND COORDINATING CONSTRUCTION ACTIVITIES WITH THOSE OF THE UTILITY COMPANIES INVOLVED WITH FIELD LOCATION OF ALL EXISTING UTILITIES WITHIN THE AREA OF OPERATIONS. SHOULD THE CONTRACTOR EXPERIENCE A FAILURE BY THE UTILITY COMPANIES TO COMPLY WITH THEIR RESPONSIBILITY OF RELOCATING OR ADJUSTING THEIR FACILITIES, IF ANY, THE OWNER MUST BE NOTIFIED IN WRITING. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
 16. THE CONTRACTOR SHALL FOLLOW AS APPLICABLE, UNLESS STANDARDS HAVE BEEN WAIVED OR MODIFIED:
 - UNIFORM BUILDING CODE, 1997 EDITION, APPENDIX CHAPTER A33, EXCAVATING AND GRADING
 - UNIFORM FIRE CODE

17. FINISH GRADES ARE AT ROADWAY CENTERLINE, UNLESS OTHERWISE SPECIFICALLY NOTED.
18. NATIVE MATERIAL CAN BE CRUSHED AND PROCESSED ON SITE FOR ROAD BASE MATERIAL.
19. TEMP. DEBRIS PILES WILL BE LOCATED EVERY 200' AS NEEDED.
20. ALL ROADWAYS, TRENCHES, DETENTION PONDS AND/OR EXCAVATIONS OF ANY KIND REQUIRING FILL MATERIAL WILL BE INSPECTED AND APPROVED BY THE OWNERS QUALITY CONTROL FIRM PRIOR TO THE PLACEMENT OF ANY FILL MATERIAL.
21. ALL FILL OR BACK FILL, WHETHER IMPORT OR NATIVE SOILS, WILL BE TESTED FOR DENSITY, MOISTURE AND BEARING AT REGULAR INTERVALS THROUGH THE COURSE OF THE FILL PLACEMENT. ALL FILLS WILL BE PLACED IN LIFTS AS PER THE PLANS AND GRANTSVILLE CITY SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE GEOTECH 24 HOURS IN ADVANCE OF SCHEDULED FILL PLACEMENT.
22. IN THE EVENT OF DISCREPANCIES BETWEEN BID DOCUMENTS AND EXISTING ONSITE CONDITIONS, CONTRACTOR WILL 1) IMMEDIATELY HALT WORK ACTIVITY AND NOTIFY DESIGN ENGINEER OF ANY SUCH DISCREPANCIES 2) UPON RESOLUTION OF DISCREPANCIES, CONTRACTOR WILL SUBMIT COST OF CHANGED CONDITION, IF ANY. 3) PROCEED WITH WORK AFTER RECEIPT OF WRITTEN NOTICE TO COMMENCE WORK.
23. CONTRACTOR WILL, PRIOR TO INSTALLATION PREPARE AND SUBMIT PRODUCT DATA AND DETAILS FOR MATERIAL USED IN CONJUNCTION WITH THIS PRODUCT IE. OVERFLOW STRUCTURES, DRAINAGE PIPE, FILTER FABRICS, EROSION BLANKETS, GROUT, GUARDRAILS, ROAD SIGNS, ETC.
24. CUT AND FILL SLOPES MATTING TO BE SEEDED AND TOPSOILED PRIOR TO PLACEMENT OF EROSION BLANKETS.
25. STAPLE PATTERNS ON EROSION MATS PER SUPPLIERS SPECS

EROSION CONTROL BLANKET - ALL REQUIRED GRADING AND SEEDING IN AREAS TO RECEIVE EROSION CONTROL BLANKET SHOULD BE COMPLETED AND APPROVED BEFORE PLACING THE PRODUCT. APPLY THE BLANKET WITHIN 24 HOURS AFTER SEEDING OR BEFORE PRECIPITATION FALLS. IF THE BLANKET IS NOT INSTALLED AND A PRECIPITATION EVENT OCCURS, CREATING SOIL EROSION, REPLACE ERODED MATERIAL, REWORK THE SOIL AND RESEED BEFORE INSTALLING THE BLANKET. INSTALL THE EROSION CONTROL BLANKET OR CHANNEL LINER STRICTLY FOLLOWING MANUFACTURER'S SPECIFICATIONS. ALLOW THE BLANKET OR LINER TO LAY LOOSELY ON THE SOIL TO ACHIEVE MAXIMUM SOIL CONTACT. REMOVE ROOTS, BRANCHES, OR OTHER LOOSE OBJECTS THAT CAUSE THE BLANKET OR CHANNEL LINER TO "TENT". PLACE ROOTS AND BRANCHES ON AREAS ALREADY BLANKETED. DO NOT STRETCH THE BLANKET DURING INSTALLATION. STAPLE THE BLANKET OR LINER USING MANUFACTURER'S SPECIFICATIONS. STAPLE REQUIREMENTS VARY ACCORDING TO THE STEEPNESS AND LENGTH OF THE SLOPE. PLACE ADDITIONAL STAPLES IN AREAS SUCH AS: SWALES, BASE OF HUMPS, AGAINST ROCK OUTCROPS AND AS REQUIRED TO ACHIEVE MAXIMUM CONTACT BETWEEN THE BLANKET AND THE SOIL.

TOPSOIL - PLACE TOPSOIL JUST BEFORE SEEDING TO ELIMINATE COMPETITION FROM WEEDS, COORDINATE TOPSOIL PLACEMENT WITH THE SEEDING WINDOW.

SEEDING WINDOW - COMPLETE ALL GENERAL DISTURBED AREA SEEDING WITHIN THE APPROPRIATE SEEDING WINDOW. IF THE SEEDING IS NOT COMPLETED WITHIN THE GIVEN WINDOW, POSTPONE SEEDING UNTIL THE FOLLOWING YEAR. UNDER CERTAIN CONDITIONS, AN EXCEPTION TO THIS WINDOW MAY BE OBTAINED THROUGH THE REGION LANDSCAPE ARCHITECT. THE ENGINEER APPROVES EXCEPTIONS.

ELEVATION	SEEDING WINDOW
4000 TO 6000 FT	SEPT. 15 TO DEC. 1
ABOVE 6000 FT	SEPT. 1 TO NOV 15

NO.	DESCRIPTION	DATE	APPD


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CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

HAWTHORN ESTATES
PHASE 2
EROSION CONTROL
DETAILS and NOTES

5-6-2021

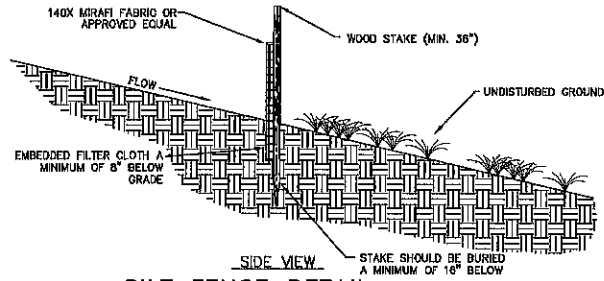
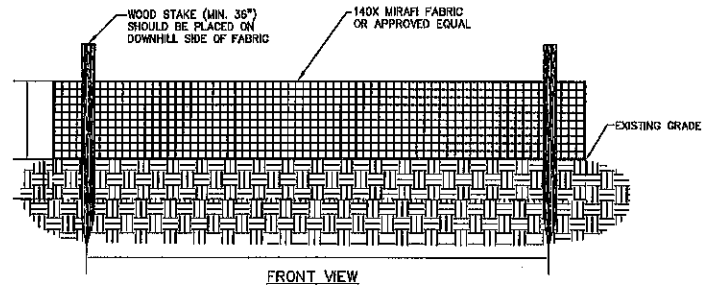
GRANTSVILLE
 CITY



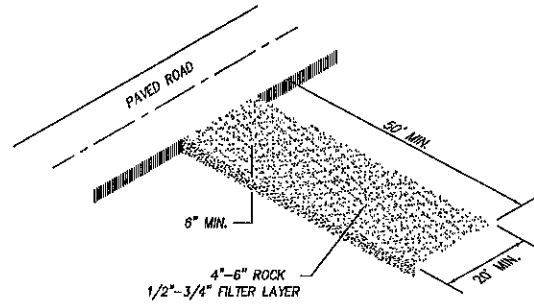


SHEET NO. ER-1

Signature _____

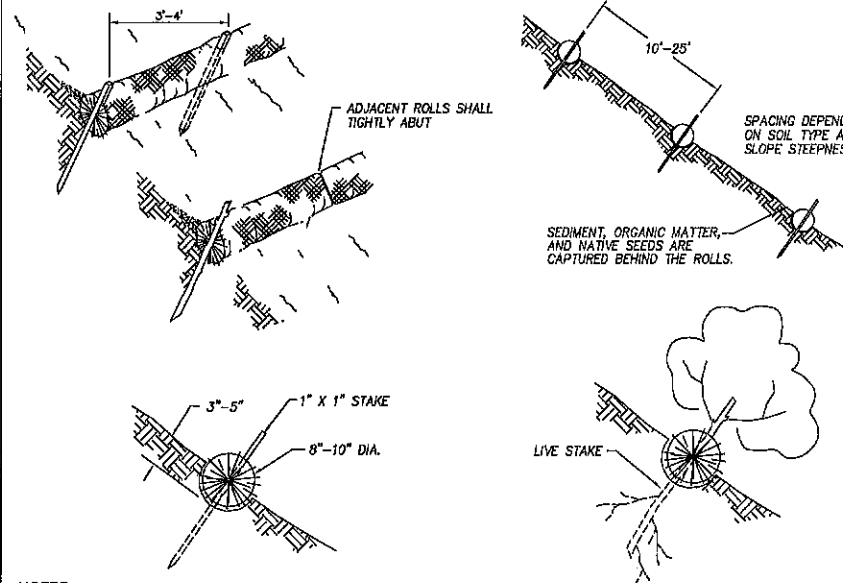


SILT FENCE DETAIL
NOT TO SCALE



- NOTES:**
- 1-CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%
 - 2-COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN USE FOR MORE THAN 3 MONTHS)
 - 3-PLACE COURSE AGGREGATE 1 TO 2-1/2 INCHES SIZE TO A MINIMUM DEPTH OF 8 INCHES
 - 4-DAILY INSPECTIONS ARE REQUIRED FOR LOSS OF GRAVEL OR SEDIMENT. SWEEPING OF ASPHALT ROADWAY MAY BE REQUIRED TO ELIMINATE GRAVEL FROM TRACKED TO SURFACE.

VEHICLE TRACKING DETAIL
NOT TO SCALE



NOTES:

Straw wattles shall be installed as soon as construction will allow or when designated by the Engineer. Straw wattles shall be placed in shallow trenches and staked along the contour of disturbed or newly constructed slopes, in accordance with the Plans, perpendicular to the flow direction and parallel to the slope contour.

The wattles shall be installed at the intervals designated by the Engineer.

Trench construction and wattle installation shall begin from the base of the slope and work uphill. Excavated material shall be spread evenly along the uphill slope and compacted using hand tamping or other method approved by the Engineer. On gradually sloped or clay-type soils trenches shall be 2 to 3 inches deep. On loose soils, in high rainfall areas, or on steep slopes, trenches shall be 3 to 5 inches deep, or half the thickness of the wattle.

The wattle shall be install snugly into the trench, abutting adjacent wattles tightly, end to end, without overlapping the ends. Wattles shall be staked at each end and at 4 foot centers along their entire length. When trench conditions require, pilot holes for the stakes shall be driven through the wattle and into the soil using a straight bar. Stakes shall be driven through the middle of the wattle, leaving 2 to 3 inches of the stake protruding above the wattle.

Wattles shall be inspected regularly to ensure they remain thoroughly entrenched and in contact with the soil, and immediately after a runoff producing rainfall.

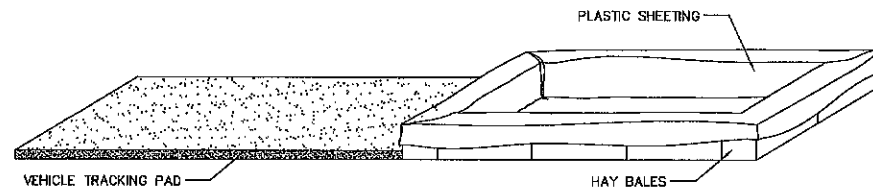
STRAW WATTLE (SILT FENCE ALTERNATIVE)
NOT TO SCALE

NOTE:
TYPICALLY STRAW BALES ARE NOT RECOMMENDED FOR INLET PROTECTION BARRIERS.

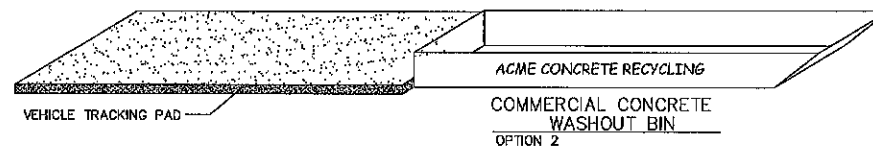
PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.

SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC TO BE USED TO WEIGH DOWN WATTLE IN AREAS WHERE THE WATER FLOW MAY MOVE THE WATTLE.

INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



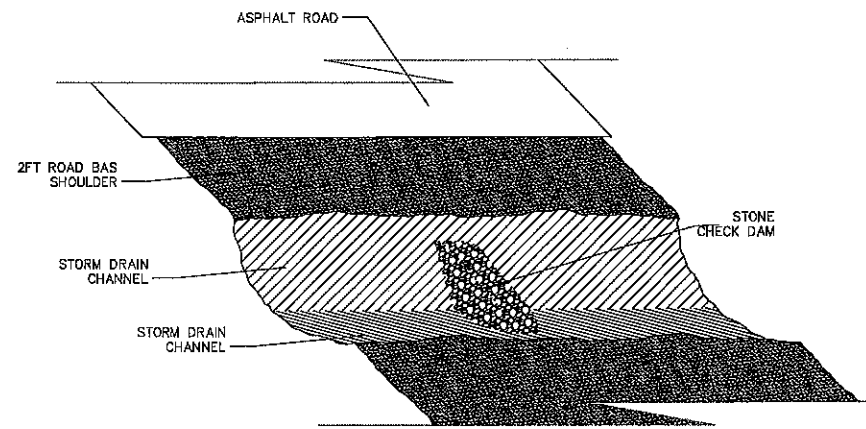
CONCRETE WASHOUT PIT
OPTION 1



CONCRETE WASHOUT PIT
OPTION 2

- CONCRETE WASHOUT AREA**
NOT TO SCALE
- CONCRETE WASHOUT AREA**
- 1-AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE.
 - 2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA
 - 3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, STREETS OR STREAMS
 - 4-LOCATE ON-SITE WASHOUT AREA MORE THAN 50 FT AWAY FROM NEAREST STORM INLET.
 - 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

- USE OF CONCRETE WASHOUT**
- 1-IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONCRETE WASHOUT AREA.
 - 2-WASHOUT CONCRETE WASTE INTO PIT OR CONTAINER WHERE IT CAN SET AND LATER BE BROKEN UP AND DISPOSED OF PROPERLY
 - 3-NO WASTE OR LITTER IS TO BE PERMITTED TO ACCUMULATE IN THE WASHOUT AREA. AREA SHOULD BE CLEAN AT THE
 - 4-END OF EACH WORK DAY.
 - 5-INSTALL PROPER WASTE WATER PROTECTION AT ALL EFFECTED DOWNHILL STORM DRAINS AND INLETS
 - 6-INSTALL A VEHICLE TRACKING PAD TO PROTECT THE STREETS FROM MUD AND OTHER DEBRIS FROM TRUCKS. MAKE SURE ALL TRUCKS ARE CLEAR OF MUD AND ROCK THAT CAN FALL FROM TRUCK WHILE TRAVELING ON STREETS.



DRAINAGE CHANNEL PROTECTION
NOT TO SCALE

- NOTE:**
1. PLACE A CHECK DAM AT EVERY 100 LINER FEET OF DRAIN CHANNEL.
 2. PLACE CHECK DAMS PERPENDICULAR TO THE FLOW LINE OF THE CHANNEL.
 3. CONSTRUCT CHECK DAMS SO THAT WATER DOES NOT FLOW AROUND THE ENDS OF THE DAM.
 4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.



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CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

**HAWTHORN ESTATES
PHASE 2
EROSION CONTROL
DETAILS and NOTES**

5-6-2021

GRANTSVILLE
CITY



SHEET NO. **ER-2**

See GRANTSVILLE CITY specifications for further information.